



Notice: Council meetings are held in person at Town Hall. Members of the public can attend meetings in person or view meetings through the Zoom livestream. Recordings of all meetings are available on the Town’s website. To livestream this meeting starting at 6 pm, use this Zoom link:

<https://us06web.zoom.us/j/88956545878>

1. CALL TO ORDER

2. LAND ACKNOWLEDGEMENT

Acknowledgement of Mi’kma’ki, the ancestral and unceded territory of the Mi’kmaq People.

3. APPROVAL OF AGENDA

3.1 July 11, 2023 Council Meeting Agenda

Draft motion: That Council approve the agenda for the July 11, 2023 meeting as presented.

4. APPROVAL OF MINUTES

4.1 June 27, 2023 Regular Meeting of Council Minutes

Draft motion: That Council approve the minutes of the June 27, 2023 meeting as presented.

5. PUBLIC INPUT AND QUESTIONS

Please note:

- Public Participation is limited to 20 minutes
- Each person is limited to 3 minutes
- Each person must state their name
- Questions or comments are directed to the Chair
- Comments and questions relating to personnel, current or potential litigation issues, or planning issues for which a public hearing has already occurred, but no decision has been made by Council, will not be answered.

6. PUBLIC HEARINGS AND PRESENTATIONS

6.1 Drinking Water within Municipal Water Supply Watersheds – Ella Gindi, MODL

6.2 Public Hearing: Repeal Bylaw

Public hearings are typically held to discuss planning and development related matters and new bylaws or changes to existing bylaws. Public Hearings are open for anyone to speak at or to submit written comments to.

Public hearing process:

- Staff will provide an overview of the agenda item
- Staff will answer questions from Council
- The meeting be opened to the public for questions (in person and virtual attendees)
- Each person is limited to 5 minutes
- Each person must state their name
- Questions or comments are directed to the Chair
- Once the public hearing is closed, no further questions or comments on the matter will be received

7. BUSINESS ARISING FROM THE MINUTES/UNFINISHED BUSINESS

7.1 Bylaw to Repeal Certain Bylaws – 2nd reading

Draft motion: That Council approve second reading of the Bylaw to Repeal Certain Bylaws as presented.

8. CORRESPONDENCE, PETITIONS AND PROCLAMATIONS FOR CONSIDERATION

8.1 Working Group Invitation – Joint Regional Transportation Agency (JRTA)

Draft motion: That Council direct the Chief Administrative Officer to appoint one staff member as the primary group member and one staff person as an alternate on the Joint Regional Transportation Agency (JRTA)'s Municipal Working Group.

9. COMMITTEE MEETING MINUTES, RECOMMENDATIONS, REPORTS & NOTICES OF MOTION

9.1 Heritage Advisory Committee Recommendation: Proposed Alteration to Municipal Heritage Property – Mizpah Cottage

Draft motion: That Council approve the proposed alterations to the Mizpah Cottage Carriage Shed at 75 Dufferin Street and direct staff to issue a Heritage Permit accordingly.

10. NEW BUSINESS

10.1 2023/24 Electric Utility Operating and Capital Budgets

Draft motion: That Council approve the 2023/24 Electric Utility Operating Budget as presented for a total amount of \$ 7,171,000.

Draft motion: That Council approve the 2023/24 Electric Utility Capital Budget as presented for a total amount of \$490,000.

10.2 NSPI Flow Through Rate Application

Draft Motion: That Council approve the submission of an application to the Nova Scotia Utility and Review Board (NSUARB) for its approval of a per kWh increase to offset power purchase cost increases associated with the February 2, 2023 and January 1, 2024 NSPI Municipal Rate increases.

10.3 Budget Increase Request: WTP Membrane Replacement

Draft motion: That Council approve an additional \$304,000 for the Water Treatment Plant (WTP) Membrane Replacement 2023/24 Water Utility Capital Project for a total

project amount of \$659,000 (including HST); and that this additional amount be funded by the Town's Membrane Reserves and Water Utility Depreciation funds.

Draft motion: That Council award Pall Water \$564,132.51 (plus HST) to provide and install the membrane replacement at the Town of Lunenburg's Water Treatment Plant (WTP).

10.4 Tannery Road Sidewalk Construction Tender Award

Draft motion: That Council defer the 2023/24 Green Street Sidewalk Renewal Capital Project and direct staff to include the project in the 2024/25 Capital Budget.

Draft motion: That Council approve an additional \$300,000 for the 2023/24 for the Tannery Road Sidewalk Construction Capital Project for a total project amount of \$571,000 (including HST); and that this additional amount be funded by the Town's Surplus Asset Reinvestment Fund.

Draft motion: That Council award Dexter Construction \$440,760 (plus HST) to fulfill the Tannery Road Sidewalk Construction Tender.

10.5 Watermain Loop Harbourview/Morash Deferral Request

Draft motion: That Council defer the award of the 2023/24 Harbourview/Morash Watermain Capital Project, and direct staff revise the project's budget value for inclusion in the 2024/25 Water Utility Capital Budget.

10.6 Public Works Capital Status Update – information report

10.7 Potable Water Quality Test Results – information report

10.8 Wastewater Quality Test Results – information report

11. IN CAMERA

11.1 Acquisition, sale, lease and security of municipal property

Draft motion: Moved and seconded that Council move in camera at _____ to discuss agenda item 11.1 Acquisition, sale, lease and security of municipal property, as per Section 22 (2) (c) of the Municipal Government Act.

12. ADJOURNMENT

TOWN OF LUNENBURG
COUNCIL MEETING MINUTES
 June 27, 2023 | 6 pm
 Lunenburg Town Hall – Council Chamber



Present	Acting Mayor Peter Mosher, Councillors Jenni Birtles, Stephen Ernst, Ed Halverson, Melissa Duggan and Susan Sanford
Also present	Jamie Doyle, Chief Administrative Officer Arthur MacDonald, Director of Community Development Michael Best, Communications Manager Kayla Byrne, Municipal Clerk
Call to Order	The Acting Mayor called the meeting to order at 6 p.m.
Land acknowledgment	The Acting Mayor recognized Lunenburg's location on the unceded territory of the Mi'kmaq people.
Public input for Council meetings	Staff noted there will be a new standing agenda item which will allow time for public input at Council meetings. Under this agenda item, members of the public will be able to register to comment or inquire about municipal matters. This agenda item will be included on the next Council agenda.
Approval of Agenda	Moved and seconded that Council approve the agenda for the June 27, 2023 meeting. <p style="text-align: right;">Motion carried unanimously</p>
Approval of Minutes	Moved and seconded that Council approve the minutes of the June 13, 2023 meeting as amended: Note that Councillor Birtles left the June 13, 2023 at 6:15 p.m. <p style="text-align: right;">Motion carried unanimously</p>
Public Hearings, Presentations and Questions	None.
Concerns with Blockhouse Hill	Council received a letter from resident Emma FitzGerald, expressing feedback on the proposed Upper King Street and Blockhouse Hill developments.

Brighter Days Council received a thank you letter from the Brighter Days Capital Campaign for the Town's contribution to the campaign.

Office of Fire Marshall The Town received a request to provide a list of its current fire inspectors to the Nova Scotia Office of the Fire Marshal.

Business Arising from Minutes/Unfinished Business None.

Committee Meeting Minutes, Reports & Notices of Motion None.

New Business None.

In camera Moved and seconded that Council move in camera at 6:04 p.m. to discuss agenda item 10.1 Acquisition, sale, lease and security of municipal property, as per Section 22 (2) (c) of the Municipal Government Act.

Motion carried unanimously

Prior to any in camera discussions, the Mayor called a brief recess.

Revert to open session Council reverted to open session at 6:28p.m.

Following a discussion in camera, Council made the following motion with respect to a lease at a municipal property:

Moved and seconded that Council approve the lease amendment between the Town of Lunenburg and the Class Afloat - West Island College International for premises at the Lunenburg Academy, and that the Mayor and CAO are authorized to execute the Lease on behalf of the Town and affix the municipal seal.

Motion carried unanimously

Adjournment

There being no further business, the June 27, 2023 Council meeting adjourned at 6:29 p.m.

Minutes were read and approved.

DRINKING WATER

Ella R. Gindi, Planner I

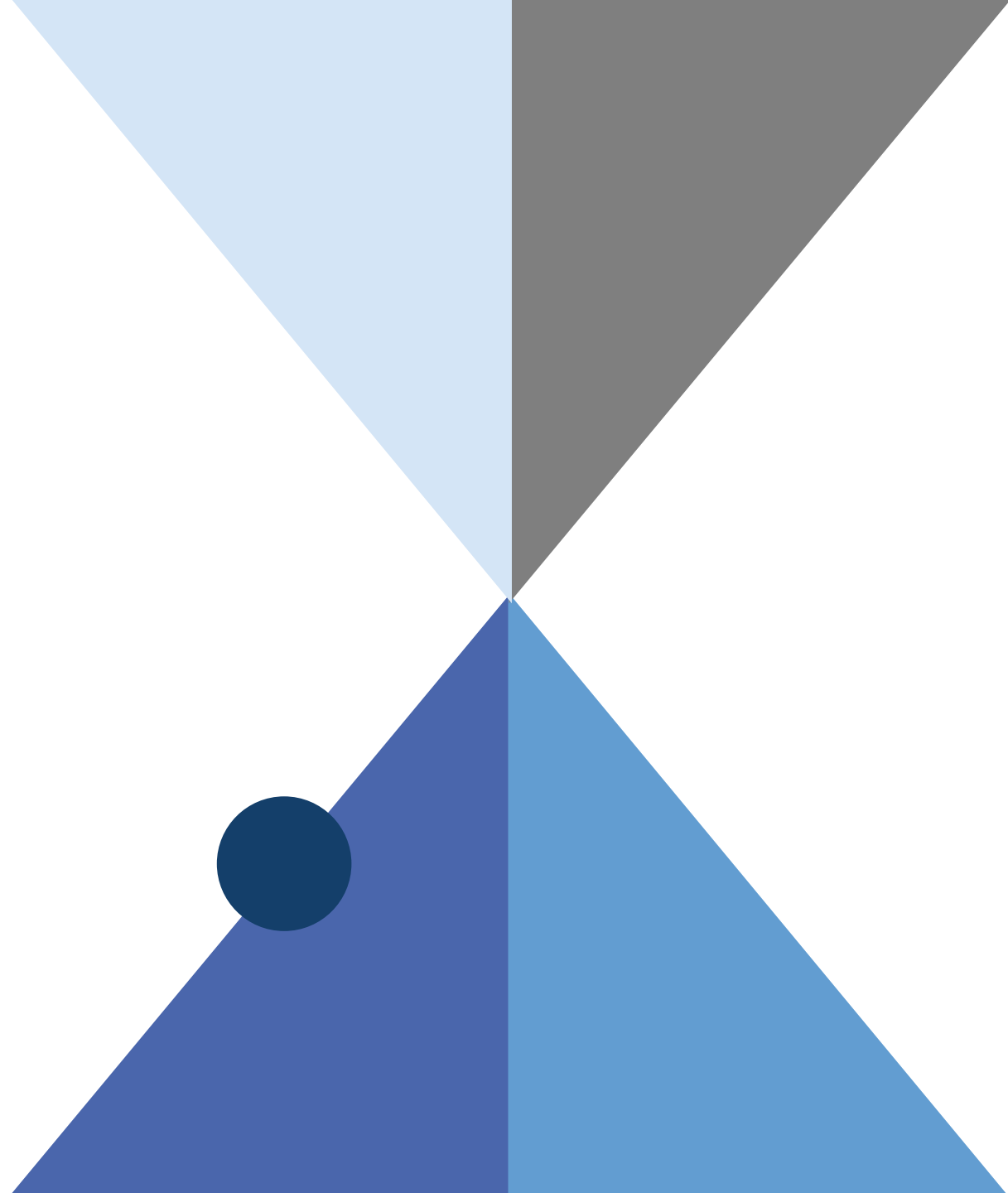


AGENDA

Background

Policy Recommendation and Justification

Implications

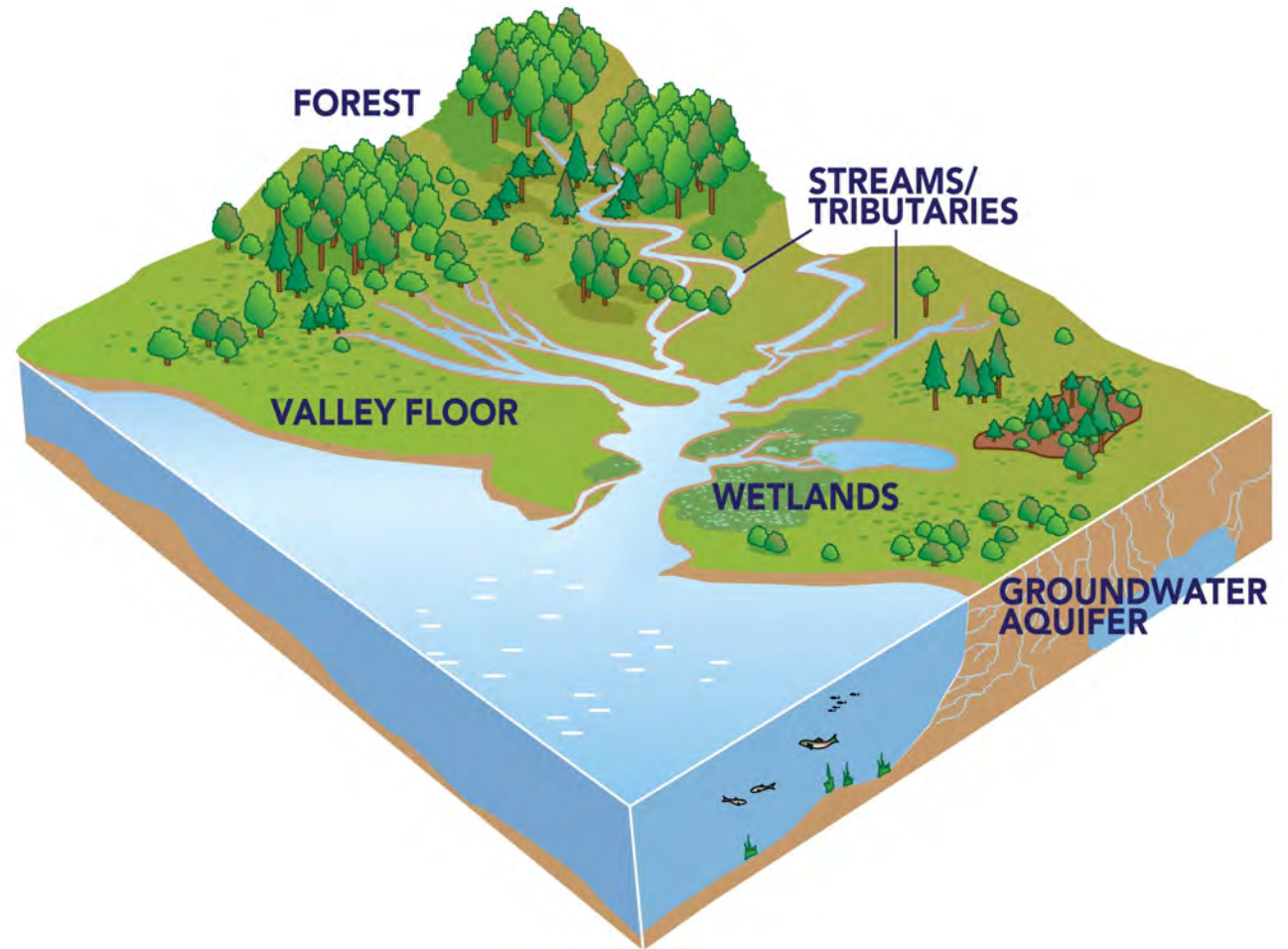


STATEMENTS OF PROVINCIAL INTEREST(SPI)

SPI	Goal
Drinking Water	To protect the quality of drinking water within municipal water supply watersheds
Flood Risk Areas	To protect public safety and property and to reduce the requirement for flood control works and flood damage restoration in floodplains.
Agricultural Land	To protect agricultural land for the development of a viable and sustainable agriculture and food industry.
Infrastructure	To make efficient use of municipal water supply and municipal wastewater disposal systems.
Housing	To provide housing opportunities to meet the needs of all Nova Scotians.

WHAT IS A WATERSHED?

A watershed is an area of land where all water flows down to the lowest point, through streams, rivers and underground, ultimately to the sea



BACKGROUND



A safe drinking water supply is a basic requirement for all Nova Scotians



Address the protection and safe supply of drinking water



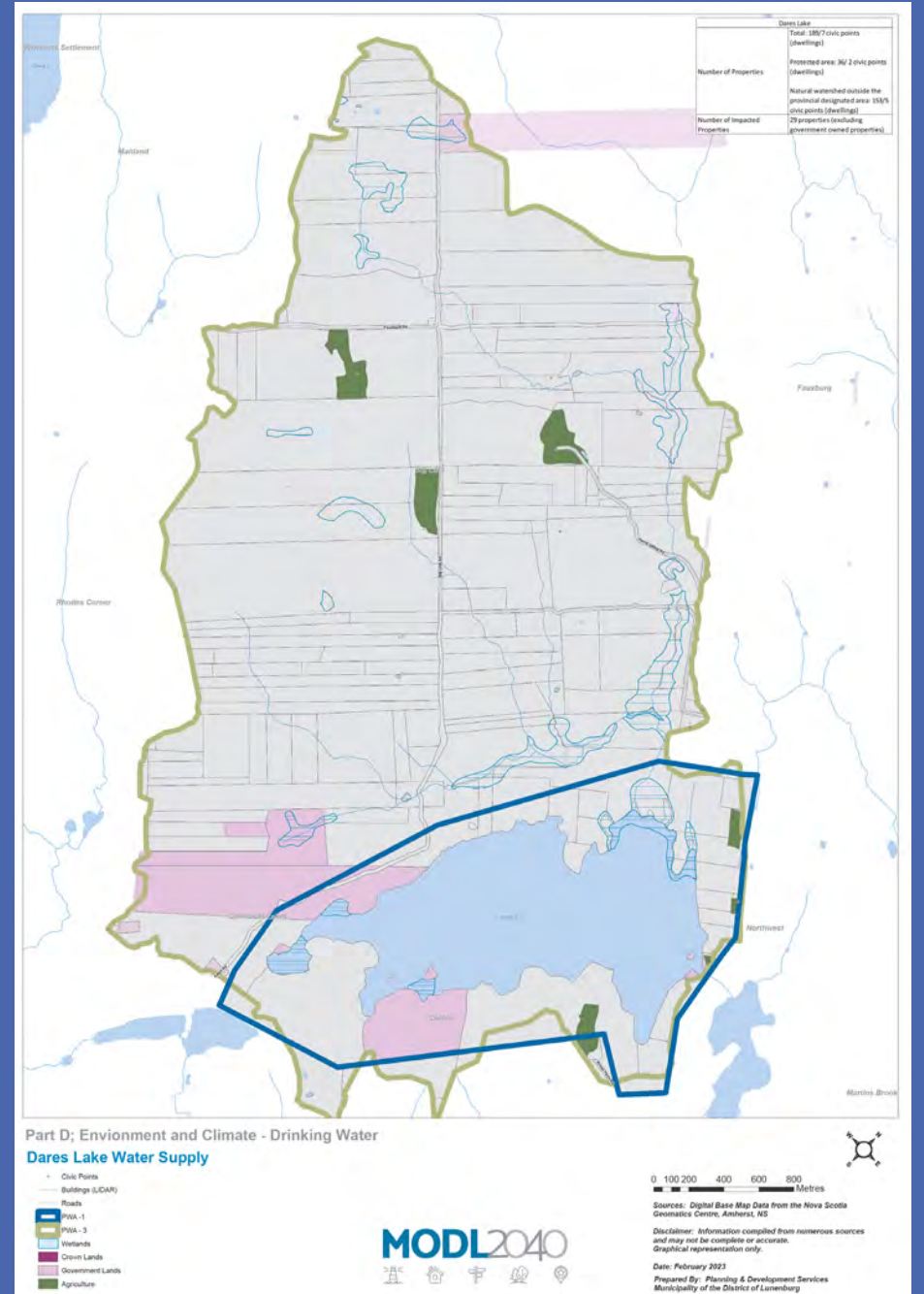
Stakeholder engagement with neighbouring Towns



POLICY AND REGULATION DEVELOPMENT

CURRENT LAND USE: DARES LAKE

- Government
- Agriculture
- Forestry
- 189 properties/ 7 dwellings (civic points)

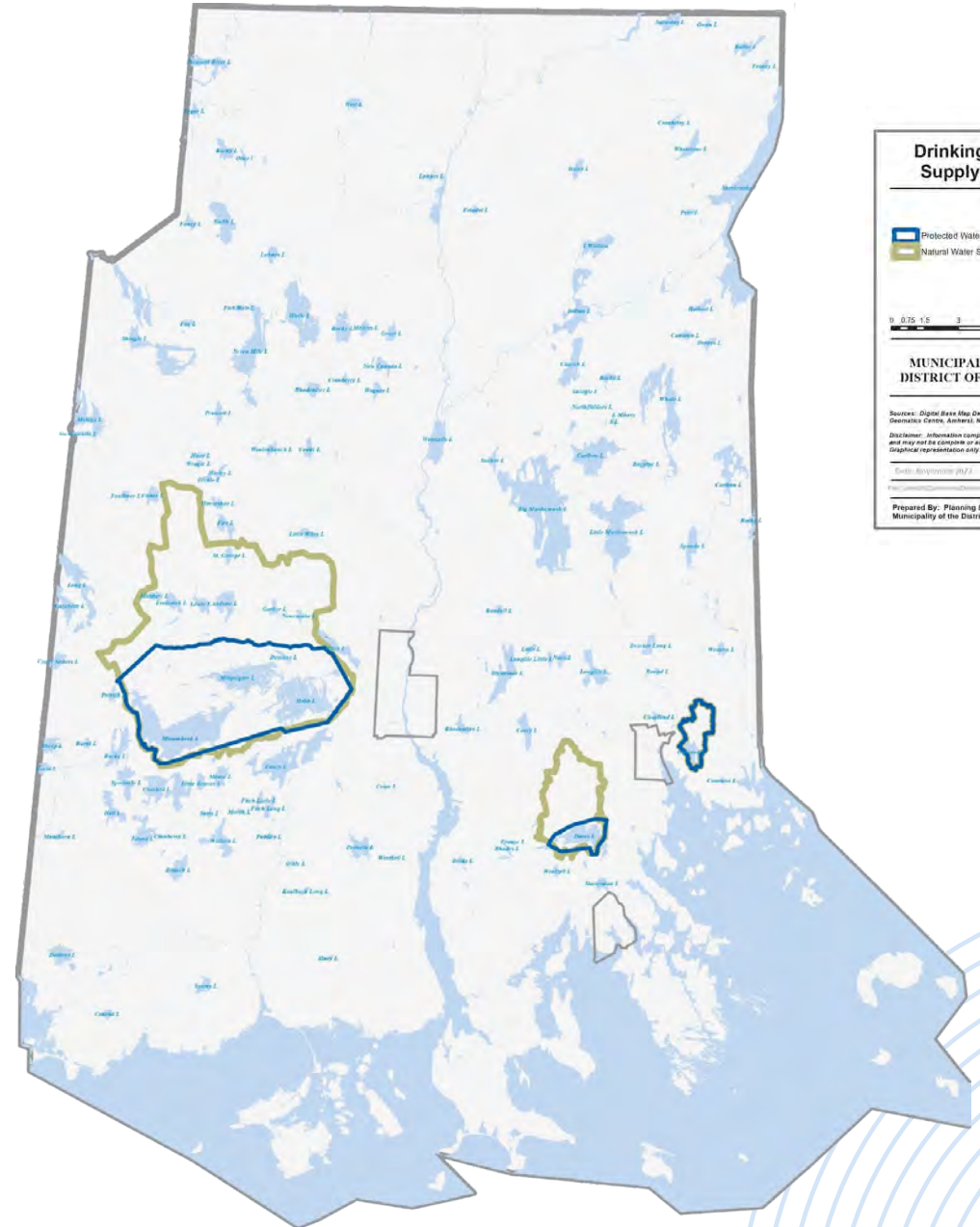


1. NATURAL WATERSHED

Acknowledge and protect the entire natural watershed to mitigate contamination downstream and safeguarding drinking water quality.

Why?

- 1970s Ground truthing
- Planning documents to identify the natural drainage area
- Mitigate downstream contamination



Drinking Water Supply Areas

Protected Water Supply Areas
Natural Water Supply Area

0 0.75 1.5 3 4.5 6 Kilometers

MUNICIPALITY OF THE DISTRICT OF LUNENBURG

Source: Digitized from Map Data from the Nova Scotia Geographic Centre, Amherst, NS
Disclaimer: Information compiled from numerous sources and may not be complete or accurate. Graphical representation only.
Scale: Approximate (NUT)
File: C:\GIS\Projects\DrinkingWaterSupplyAreas\DrinkingWaterSupplyAreas.mxd
Prepared By: Planning & Development Services
Municipality of the District of Lunenburg

MODL2040



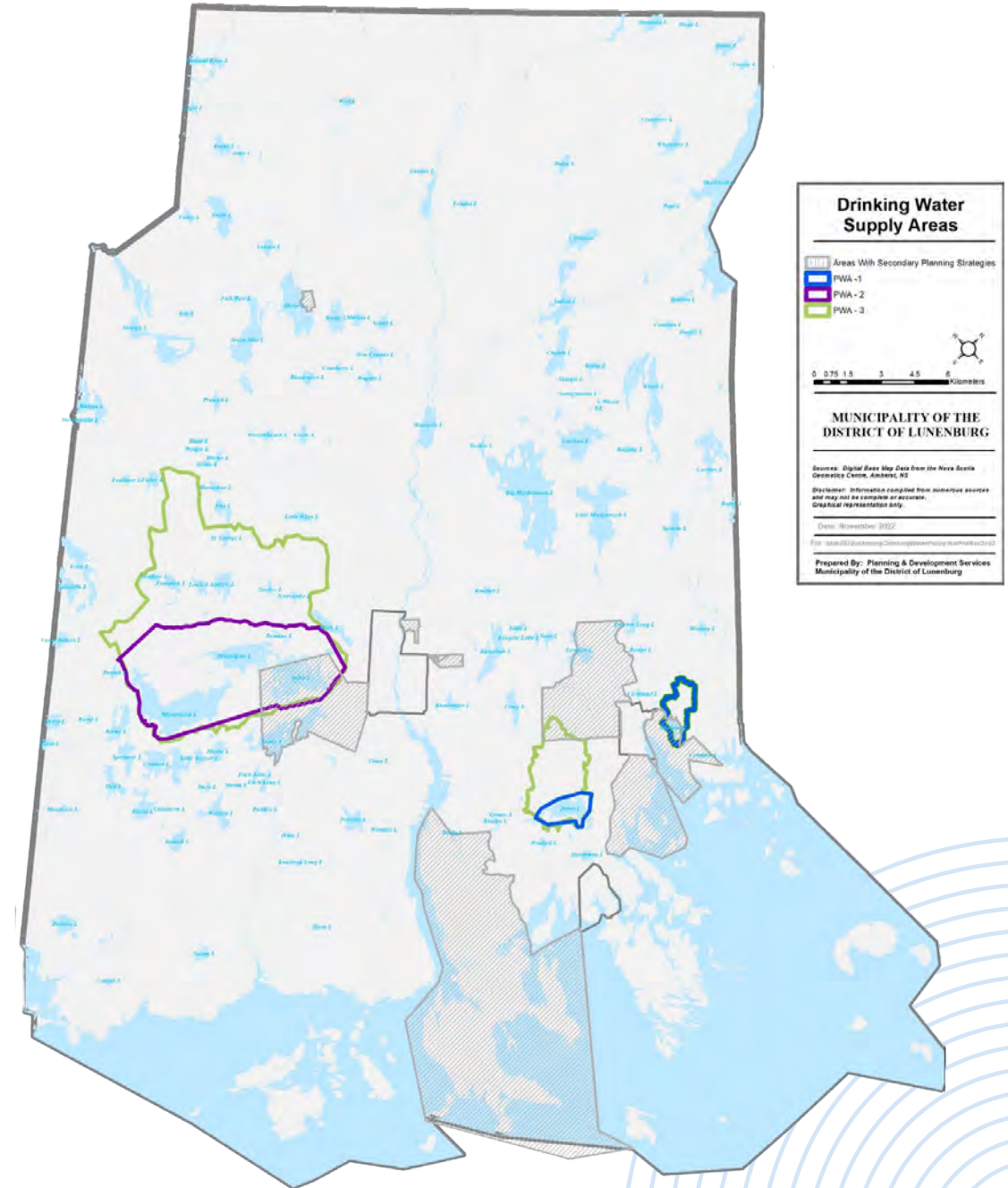
2. ZONING

Establish Three Protected Watershed Area Zones:

PWA-1: Most restrictive zone and proposed to match the boundaries of the Oakland and Dares lakes PWAs

PWA-2: Intermediate restrictive zone and proposed to match the boundaries of the Hebb, Milipsigate and Minamkeak Lakes PWAs, The land use controls would be less stringent as compared to PWA-1.

PWA-3: Least restrictive zone proposed to apply to the areas within the natural watersheds of Dares, Hebb, Milipsigate, and Minamkeak Lakes but outside the existing PWAs. This zone would contain the least stringent land use controls.

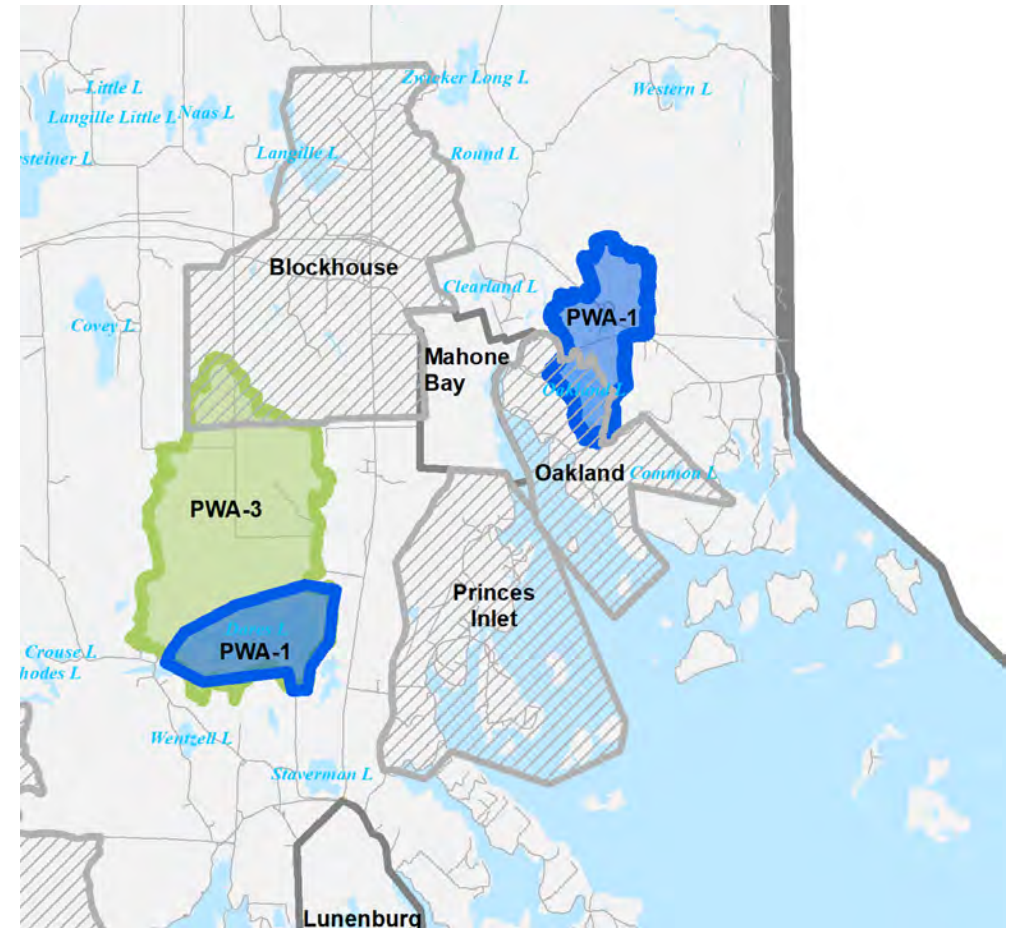


PWA-1: Most restrictive zone and proposed to match the provincial designated boundaries of the Oakland and Dares lakes PWAs.

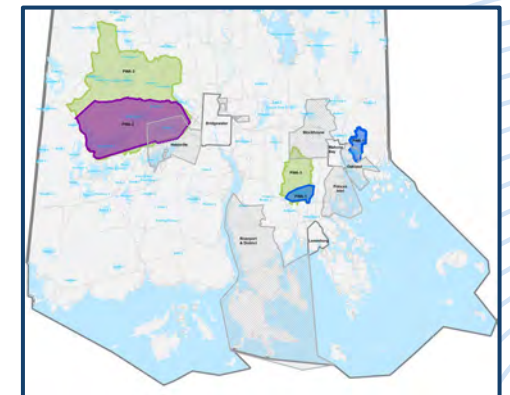
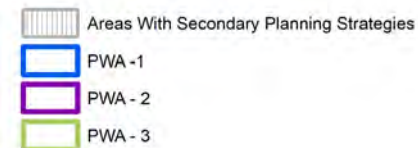
Permitted Land Use: municipal water operations and treatment facilities, open space, conservation, existing residential use, and associated accessory uses

Why:

- Common practice to permit municipal water facilities, and related conservation uses in PWA.
- Oakland and Dares Lakes are smaller
- Acid Rock Darinage
- Contamination



Watersheds

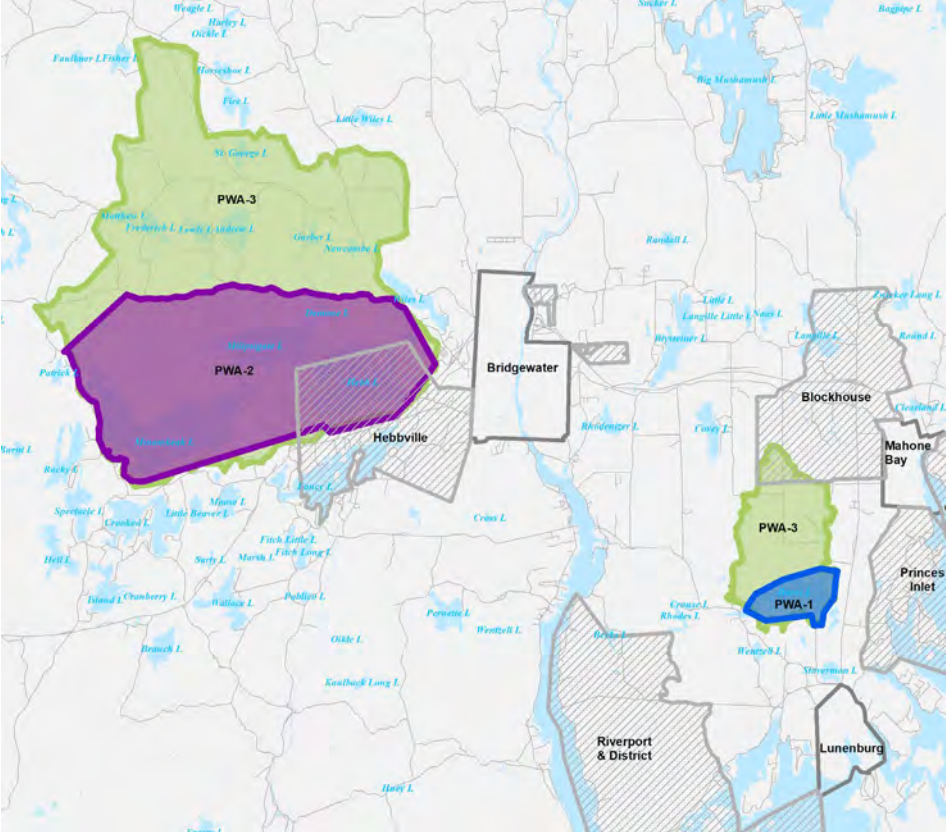


PWA-3: Least restrictive zone proposed to apply to the areas within the natural watersheds of Dares, Hebb, Milipsigate, and Minamkeak Lakes

Permitted Land Use: residential use, commercial use, institutional use, agricultural use (follow the setback requirement for the keeping of livestock), renewable energy and open space.

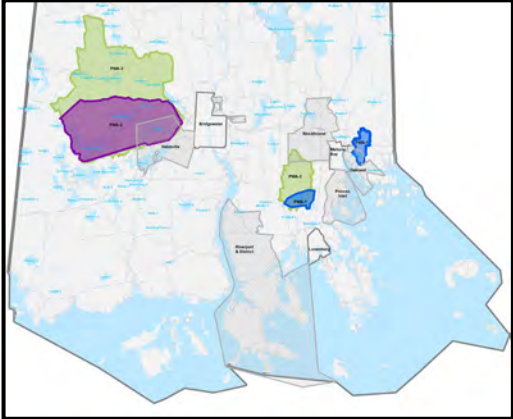
Why:

- Natural watershed
- Further away from the lakes
- Down stream Contamination



Watersheds

- ▨ Areas With Secondary Planning Strategies
- PWA -1
- PWA -2
- PWA -3



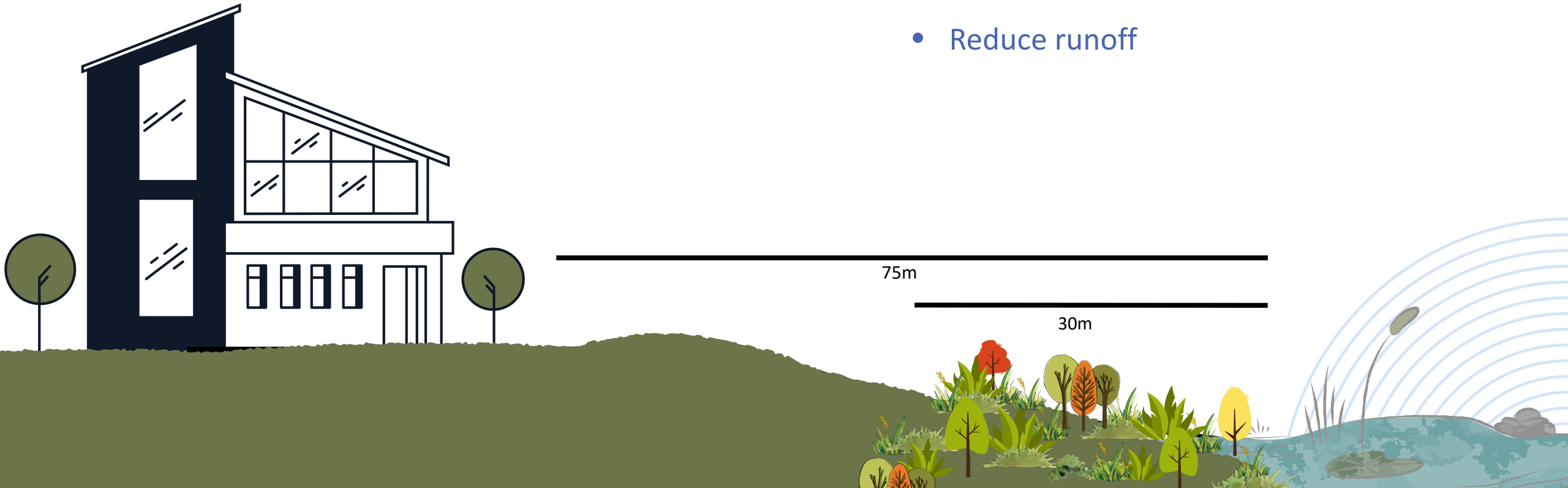
3. SETBACK AND VEGETATIVE BUFFER

Establish appropriate setbacks and vegetative buffers to protect water quality in each zone.

- 35m vegetative buffer in PWA-3 Zone
- 75m setback and vegetative buffer in PWA-1 and PWA-2 Zones
- 100m livestock setback in PWA-3 Zone

Why:

- Integrated planning tool to protect water quality
- Prevent soil erosion
- Capture and filtrate nutrients
- Reduce runoff

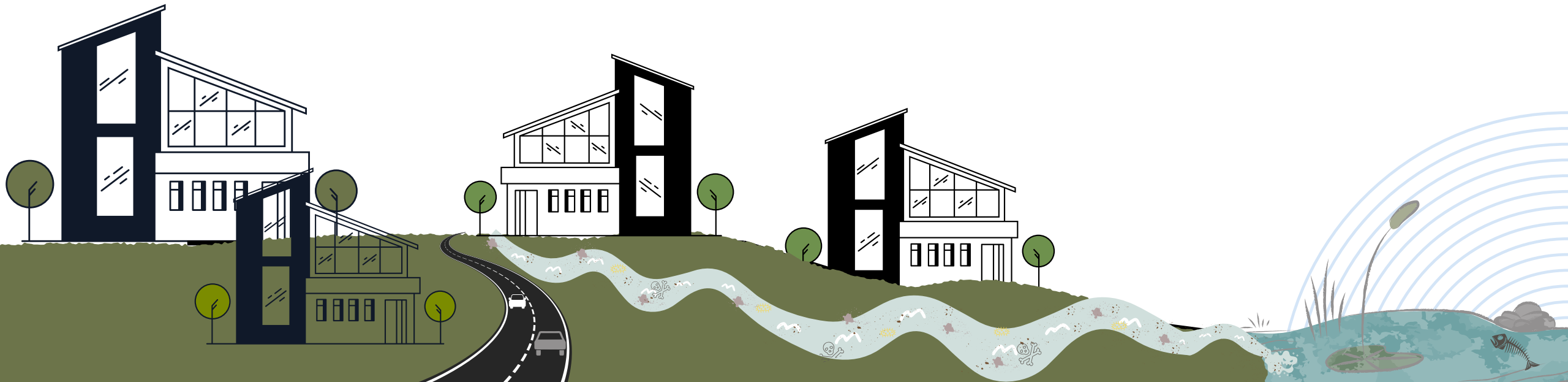


4. EROSION AND SEDIMENTATION MEASURES

In relation to development, require an erosion and sedimentation mitigation plan adhere to erosion control standards that may include but are not limited to minimizing erosion and sedimentation during excavation or infilling, retaining, and replanting natural vegetation and other measures to prevent or minimize erosion on land near a significant watercourse.

Why:

- Sedimentation
- Stormwater pollution
- Runoff
- Human-made practices
- Costly to fix
- Best Practice

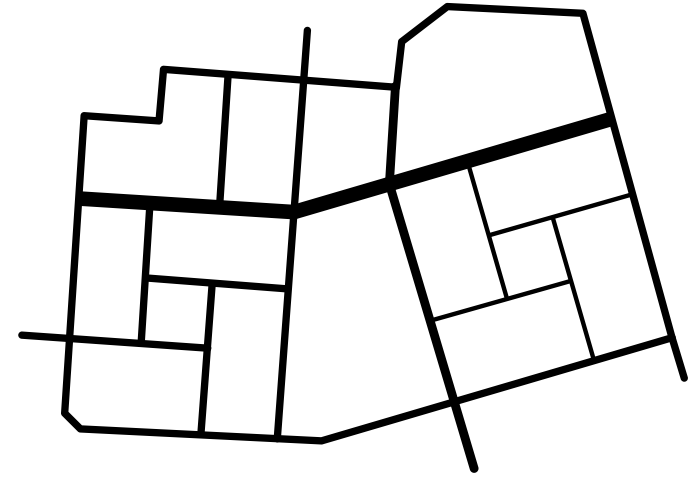


5. LOT SIZE & LOT COVERAGE

Regulating lot coverage to reduce surface runoff by minimizing impervious surfaces by regulating a 2 acres lot to enable only 10% lot coverage.

Why:

- SPI
- Impervious surface
- Low Density
- Water Quality



6. LEGAL NON-CONFORMING LAND USE

Apply regulation considering the expansion or redevelopment of existing nonconforming uses, or a change in use to a less harmful use within any PWA-1 and PWA-2 Zones.

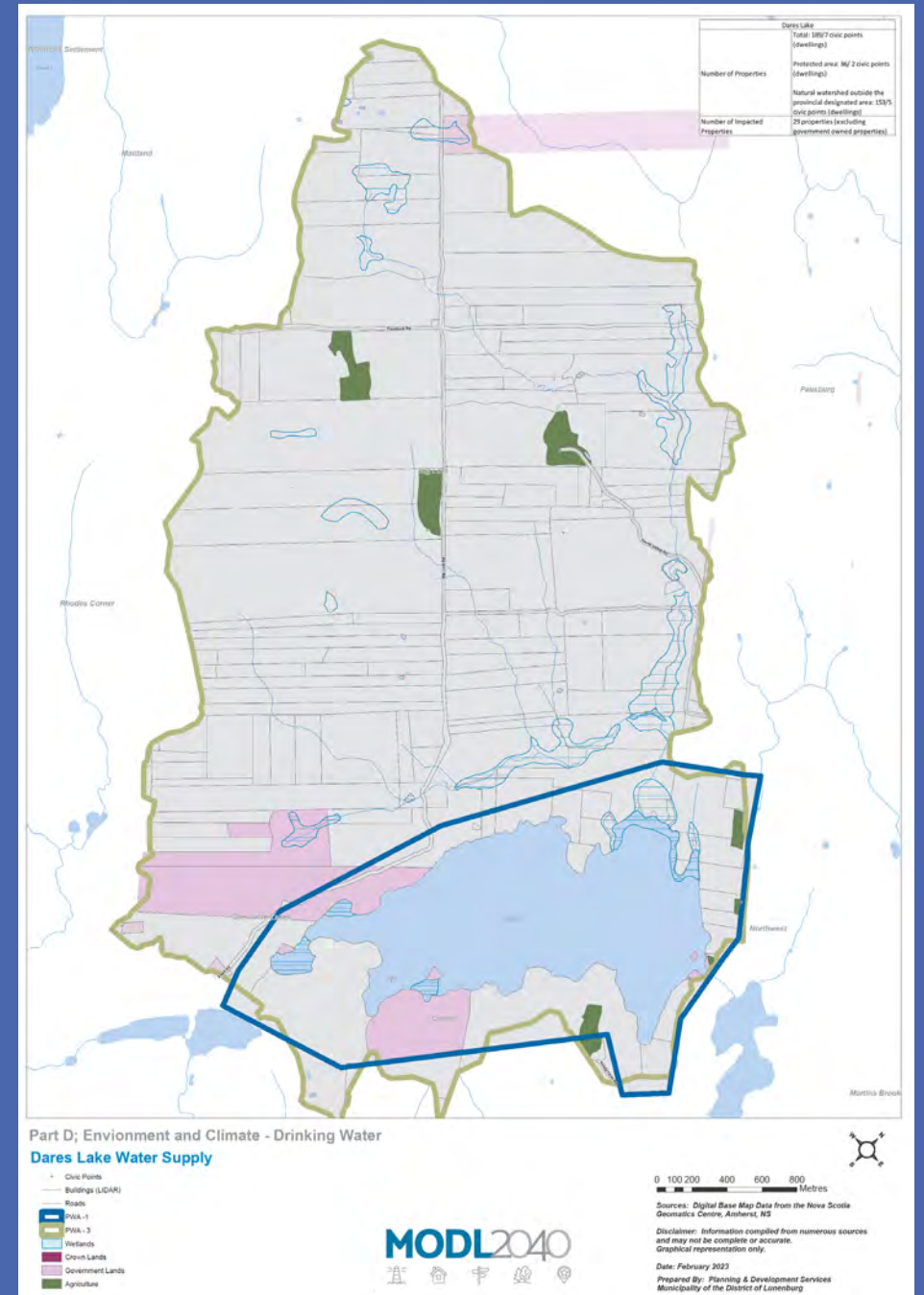
Why:

- Statement of Provincial Interest
- Record management
- Development controls



IMPLICATIONS: DARES LAKE

- **Number of properties Total: 189**
 - Existing Protected Area: 36 properties/ 2 dwellings
 - Natural Watershed: 153 properties/ 5 dwellings
- **Number of impacted properties: 29 properties**
(excluding properties owned by the Town of Lunenburg)





THANK YOU!
ANY QUESTIONS



Subject: Bylaw to Repeal Certain Bylaws – 2nd reading

From: Kayla Byrne, Municipal Clerk

Reviewed by: Jamie Doyle, CAO

Date: June 13, 2023 – 1st reading

July 11, 2023 – 2nd reading



Recommendation

That Council approve second reading of the Bylaw to Repeal Certain Bylaws as presented.

Alternatives

- Not approve bylaw and direct staff to return to Council with an amendment bylaw
- Not approve the bylaw and take no further action on this item

Background

Staff are in the process of reviewing all Town of Lunenburg bylaws to ensure they are relevant and adhere to current Town practices.

Staff will continue to review existing bylaws, and Council can expect more bylaws to be identified as ones that should be repealed or amended in the future.

To repeal municipal bylaws, there are two options:

1. Repeal the by-law in a subsequent by-law that replaces it (known as “repeal & replace”)
2. Pass a by-law that specifically repeals the by-law or by-laws you want to cancel

Council approved first reading of this bylaw at its June 13, 2023 meeting.

Discussion

Staff have identified 15 bylaws that should be repealed. These bylaws and the rationale for repealing them are provided in the table below.

If this proposed bylaw is approved, the Bylaw to Repeal Certain Bylaws will replace the [existing Bylaw to Repeal Certain Bylaw](#). The updated bylaw will include any bylaws that were previously repealed under the existing bylaw, meaning previously repealed bylaws will remain repealed.

Bylaw	Reason for repeal
Automatic Machines By-law	The Town does not regulate automatic machines, such as pop machines, snack machines and coin laundry.

Council Expense By-law	<p>This is outdated and does not align with current practice. Procedures for Council expense claims are outlined in the Town's Personnel Policy. Prior to the next regular municipal election, staff will review and update Council remuneration and expense claim policies and procedures; repealing this bylaw will not have an impact on how Council expense claims are processed.</p>
Curfew By-law	<p>This is outdated and is not enforced nor do staff believe this should be enforced or is required.</p>
Engineer By-law	<p>As per the Municipal Government Act (MGA), the CAO designates an employee to be the engineer for the municipality. This does not require a bylaw.</p>
Lock-up House By-law	<p>This is outdated. The Lunenburg County Jail closed years ago; and RCMP are responsible for all police matters.</p>
Officers By-law	<p>This is outdated and does not align with current Town practices. Anyone who must be appointed to a position by Council can be done through a motion of Council at a regular meeting. Officer appointments have recently been done through a motion of Council to appoint an additional heritage officer, development officer, and returning officer.</p>
Penalties By-law	<p>This is outdated and does not align with current Town practices. Penalties applicable to TOL bylaws are included in respective by-laws. Repealing this bylaw will not have an impact on any of the penalties written in the town's current bylaws.</p>
Sewer Charge By-law	<p>This is outdated and does not align with current Town practices.</p> <p>Guidance regarding cost and procedures for delivering and installing services such as delivering and installing storm, sewer, and water services and other street infrastructure are outlined in the Street Services Extension Policy (2022).</p>
Signature of Debentures By-law	<p>Regulations for debentures are outlined in the MGA. This bylaw is not required and has no effect on the mayor signing any future debenture agreements.</p>
Public Meeting By-law	<p>This is outdated and does not align with current Town practices. Current meeting procedures are outlined in the Council and Committee Meetings and Proceedings Policy.</p>

Plebiscite By-law	This does not require a bylaw. Plebiscite regulations are in the MGA and adhere to regulations of the Municipal Elections Act .
Town Solicitor By-law	The services of a Town solicitor are obtained through service agreements; this does not require a bylaw.
Town Property By-law	This is outdated and does not align with current Town practices. Regulations about animals, vehicles and trespassing may be posted at respective sites. Any police services are conducted by the RCMP in alignment with their processes and protocols.
Zoning By-law Advertising By-law	This is outdated. The Town no longer has a specific Zoning Bylaw. All advertisement requirements for planning documents are outlined in the MGA.
Interpretation By-law	Interpretations for many municipal matters are outlined in the MGA and the Province's Interpretation Act . Staff do not believe the Town needs its own Interpretation Bylaw. When required, staff may note any specific definitions or interpretations in respective by-laws and policies.

Strategic Plan Relevance

Undertake a policy, procedure and bylaw review to enable implementation of the CCP.

Relevant Legislation

Municipal Government Act

Financial

There are no financial impacts related to approving this bylaw.

Communications

As per requirements outlined in the MGA, if approved, the approval of the new bylaw will be advertised in the LighthouseNow.

TOWN OF LUNENBURG

BYLAW TO REPEAL CERTAIN BYLAWS

1. TITLE

This Bylaw may be cited as the “Bylaw to Repeal Certain Bylaws” or the “Repeal Bylaw.”

2. ENACTMENT

Be it enacted by the Council of the Town of Lunenburg under the authority of the Municipal Government Act of the Province of Nova Scotia, SNS 1998, c. 18, as amended from time to time, or successor legislation that the following Town of Lunenburg bylaws be repealed in their respective entirety:

Bylaw #63: Automatic Machines By-law

Bylaw #47: Council Expense By-law

Bylaw #37 Curfew By-law

Bylaw #10 Engineer By-law

Bylaw #17 Lock-up House By-law

Bylaw #7 Officers By-law

Bylaw #21 Penalties By-law

Bylaw #36 Sewer Charge By-law

Bylaw #12 Signature of Debentures By-law

Bylaw #13 Public Meeting By-law

Bylaw #14 Plebiscite By-law

Bylaw #9 Town Solicitor By-law

Bylaw #24 Town Property By-law

Bylaw #33 Zoning By-law Advertising By-law

Bylaw #1 Interpretation By-law

3. PREVIOUSLY REPEALED BYLAWS

Town of Lunenburg Bylaw #42, a Bylaw to Repeal Certain By-laws, repealed the following bylaws:

Ch. 11 - Assessor

Ch. 20 - Closing of Shops

Ch. 21 - By-laws for Barber Shops in the Town of Lunenburg

Bylaw to Repeal Certain Bylaws

Adopted by Council: **X**

Ch. 27 - Building By-law of the Town of Lunenburg

Ch. 28 - Plumbing

Ch. 31 - The Mobile Bome Parks By-law

Ch. 32 - Trailers

Ch. 33 - Automatic Machines

Ch. 34 - Public Billiard Rooms and Bowling Alleys

Ch. 36 - Chimney Sweeps

All previously repealed bylaws as noted in Section 3 remain repealed under this bylaw.

4. REPEALS AND REPLACES

This bylaw repeals and replaces the Town of Lunenburg’s Bylaw #42, a Bylaw to Repeal Certain By-laws.

5. EFFECTIVE DATE

This bylaw, Bylaw to Repeal Certain Bylaws, is effective on the date of approval and adoption below.

**TOWN OF LUNENBURG
Clerk’s Annotation for Official Bylaw Book**

Bylaw: Bylaw to Repeal Certain Bylaws

Date of first reading: June 13, 2023

Advertisement of notice of intent:

Date of second reading:

Advertisement of the bylaw approval:

A certified copy of the bylaw was mailed to the Minister of Municipal Affairs:

This bylaw comes into effect on the day the bylaw approval was advertised unless otherwise stated in the bylaw.

I certify that this bylaw was adopted by Council and advertised as indicated above.

Municipal Clerk

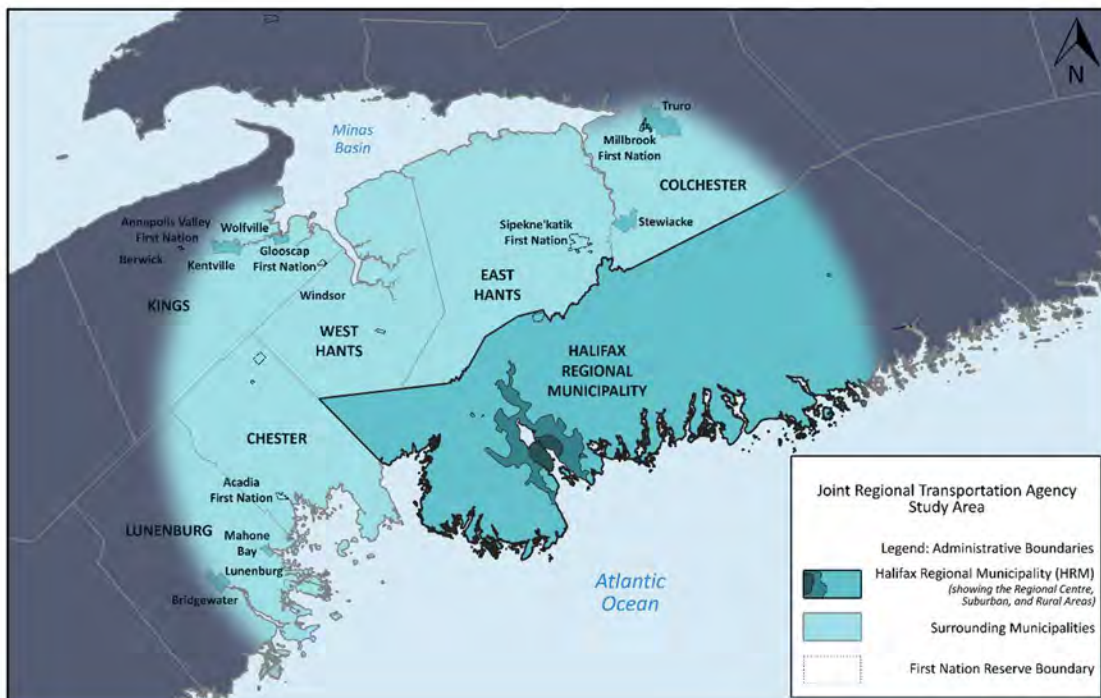
Date:

June 7, 2023

To Mayor and/or Warden and Members of Council,

The Joint Regional Transportation Agency (JRTA) is a provincial Crown Corporation created by the Government of Nova Scotia (Bill No. 61) in 2021 that reports to the Minister of Public Works. The mandate of the JRTA is to plan for all modes of transportation consistent with the region's growth and development to ensure the safe, efficient, and coordinated movement of people (walking/rolling, cycling, buses, ferries, trains, vehicles), goods (trucks, trains, ships, planes), and the necessary infrastructure (streets, transportation facilities, highways, bridges, rail corridors, ports – marine, ground, air).

To carry out this mandate, the JRTA is committed to collaborating with key partners to create a Regional Transportation Plan to ensure the transportation system is prepared for a period of unprecedented growth. The Regional Transportation Plan's study area includes the Halifax Regional Municipality and surrounding communities within an approximate one-hour travel time from Halifax (see map of study area below).



More information on the JRTA can be found here: jrta.ca.

The JRTA sits in a unique position to work across jurisdictions and all levels of government to promote collaboration. This provides a long-range lens for the regional transportation system to help maximize the impact of investments and cost-shared funding opportunities. Enacted in legislation, the JRTA works with a Transportation Advisory Board of six core partners:

- Halifax Regional Municipality
- Nova Scotia Department of Public Works
- Halifax Harbour Bridges
- Halifax Port Authority
- Halifax International Airport Authority
- Atlantic Canada Opportunities Agency

In addition to these core partners, the JRTA has begun to engage various provincial departments and the 15 municipalities within the study area. We recognize that municipalities have a wealth of transportation planning knowledge and experience and have existing plans, strategies, studies, and projects that are important to, dependant on, or that will inform the Regional Transportation Plan. Based on this and our initial meetings with the 15 municipalities, I would like to formally invite a member of your staff and an alternate (E.g. Chief Administrative Officer, Director of Planning) to join a Municipal Working Group. The Terms of Reference are attached to this letter to provide additional clarity on the roles and responsibilities of the working group. The focus of this collaboration is a multi-purpose approach to planning and infrastructure decision-making that will ultimately drive sustainable growth and enhance the well-being of Nova Scotians.

In order for your municipality to participate on the Municipal Working Group, please submit one name to be the primary Working Group Member and one alternate before June 16, 2023 if possible.

If you have any questions, please don't hesitate to reach out.

Sincerely,



Mark A. Peck
CEO, Joint Regional Transportation Agency

Attachment: Terms of Reference, JRTA Municipal Working Group

Municipal Working Group Terms of Reference

Date: May 18, 2023

1. Overview

The Government of Nova Scotia established the Joint Regional Transportation Agency (JRTA) in the fall of 2021 as a new crown corporation under [Bill No. 61](#) to address the challenges associated with a multi-jurisdictional transportation system. The primary mandate of the JRTA is to conduct long-range strategic transportation planning, including the development and implementation of a Regional Transportation Plan (RTP). The RTP will provide a coordinated strategic vision for the regional transportation system that guides transportation and land use decision making and associated infrastructure investments across jurisdictional boundaries.

The vision, mission, and mandate of the JRTA are summarized below:

Vision

A safe, efficient, equitable and resilient regional transportation system that delivers sustainable economic growth by connecting communities.

Mission

Championing regional collaboration to advance transportation solutions through joint planning, partnerships, data driven analysis, and strategic investments.

Mandate

Plan for all modes of transportation consistent with the region's growth and development to ensure the safe, efficient, and coordinated movement of people and goods.

The Municipal Working Group is made up of representatives from the 15 municipalities within the [JRTA study area](#). This includes:

Halifax Regional Municipality (HRM)

Municipality of the County of Colchester

Municipality of the County of Kings

Municipality of the District of Chester

Municipality of the District of Lunenburg

Municipality of the District of West Hants

Municipality of East Hants

Town of Berwick

Town of Bridgewater

Town of Kentville

Town of Lunenburg

Town of Mahone Bay

Town of Stewiacke

Town of Truro

Town of Wolfville

2. Purpose

The primary focus of the Municipal Working Group is to work in collaboration with the JRTA staff and in parallel with other JRTA working groups to support the development of the RTP that will enable growth, and the safe, efficient, and coordinated movement of people and goods within the Halifax Regional Municipality and surrounding areas.

The Municipal Working Group Members are key representatives and liaisons between their Municipality and the JRTA and are required to:

- facilitate the sharing of information between their respective municipality and the JRTA;
- provide insight and expertise from their municipality and associated subject matter expertise throughout the development of the RTP;
- review key deliverables from the JRTA and its consultants;
- identify opportunities, and potential projects and policies that align with or relate to the JRTA mandate and RTP;
- help to strengthen the integration of long-term transportation and land use planning across the study area;
- work collaboratively to resolve any concerns, conflicts or challenges related to joint transportation planning and implement regional transportation solutions; and,
- brief key stakeholders within their municipality (e.g., councils, staff, etc.) to keep them informed on the status and progress of various JRTA initiatives.

3. Membership

3.1 General Composition

The Municipal Working Group is made up of representatives from the 15 municipalities within the JRTA study area. Members are expected to provide technical input and expertise as it relates to the regional interests of their municipality within the RTP. It is understood that based on expertise required, additional members from the 15 municipalities may be brought in to provide insight. Additionally, depending on availability, members may designate a temporary proxy to serve as the representative from their organization if they are unable. This should be discussed with the JRTA prior to assignment. This flexibility in membership is intended to allow for continuous communications between the JRTA and the municipalities within the JRTA study area.

3.2 Representatives

To be confirmed

Municipality	Title	Member Name

3.3 Anticipated Commitment & Communication

The development of the RTP requires efficient and timely engagement. It is recognized that members of the Municipal Working Group will be providing support and insight in the development of the RTP in parallel to their core roles and responsibilities within their respective organizations.

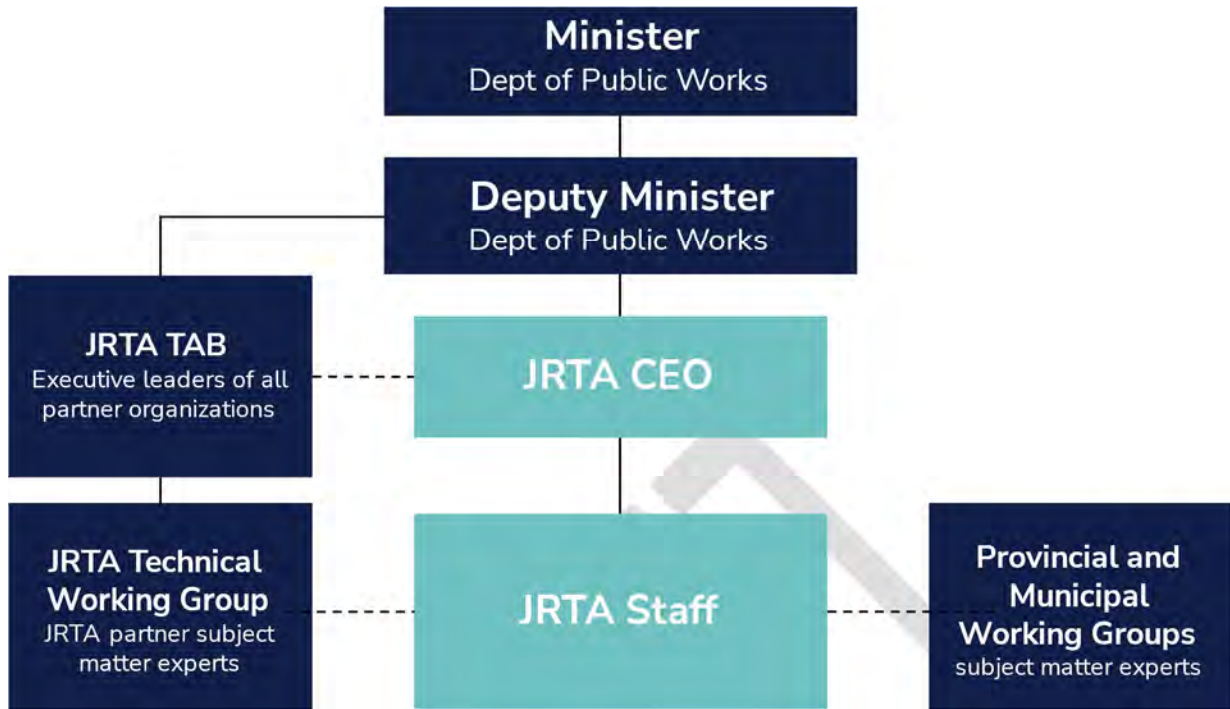
Based on the Communications and Engagement Request for Proposal, three stages of engagement have been identified thus far (during visioning, scenario planning, and finalization of RTP). Municipal Working Group meetings are anticipated to be held in conjunction with those three stages of engagement with the majority of the effort to be focused during the scenario planning phase (Fall-Winter 2023). The JRTA and its consultants will work to provide adequate notice of any additional meetings and periods that will require a greater amount of effort from the Municipal Working Group.

Meetings will be organized to have a clear purpose to efficiently use the time allotted. The circulation of materials for review will occur outside of the meetings, the meetings will primarily serve as workshops and time to present and discuss, consider, and evaluate ideas that will contribute to the development of the RTP. The JRTA will provide regular updates to ensure that the municipalities are aware of the current stage of the project.

In person attendance for meetings is encouraged and will typically occur when the consultant teams are in Nova Scotia for engagement initiatives. Other meetings may be held virtually with the option to attend in person.

4. Relationship to other Committees and Working Groups

The governance of the JRTA involves relationships with several key groups or committees. The figure below illustrates the current governance and associated relationship between the JRTA, TAB, and other working groups.



The table below identifies and further describes the other committees, key teams and working groups that the JRTA is engaging with in the development of the RTP.

Team / Working Group	Description
Technical Advisory Board (TAB)	<ul style="list-style-type: none"> • Executive leaders from the core JRTA Partners • The TAB provides strategic guidance to JRTA • The TAB will make recommendations to the Deputy Minister of Public Works and the Minister of Public Works as necessary
JRTA Technical Working Group (TWG)	<ul style="list-style-type: none"> • Subject matter experts (SME's) from each of the core partner organizations. • Members provide technical input and expertise as it relates to the interests of each of their organizations. • The TWG supports the development of strategic plans, such as the RTP. • Members facilitate the sharing of information between respective organizations. • The group helps identify opportunities, potential projects, and policies that align with or relate to the JRTA mandate, core partner projects and RTP. • Members will work collaboratively to resolve any concerns, conflicts or challenges related to joint transportation planning and implement regional transportation solutions.

	<ul style="list-style-type: none"> • Responsible to brief senior leaders within respective organizations to keep them informed on the status and progress of JRTA initiatives.
<p>Province of Nova Scotia Network / Working Group</p>	<ul style="list-style-type: none"> • The JRTA is working with provincial departments to establish a collaborative network that can be engaged to gain insight from diverse organizational perspectives. • The intent of this network is to create alignment across provincial departments beyond the JRTA partners to establish mutually supportive plans, strategies, and initiatives. • This network may influence areas that are outside the scope of the RTP but will contribute to or dictate the plan's success (e.g., institutional investments, infrastructure location and investment, etc.). • This network will also ensure the RTP accounts for and includes requirements or assumptions from other plans, strategies, and initiatives.

5. Review

The Terms of Reference will be reviewed annually and updated as needed.

Subject: Proposed Alteration to Municipal Heritage Property – Mizpah Cottage

From: Hilary Grant, Senior Planner & Heritage Officer

Reviewed by: Arthur MacDonald, Director of Community Development

Date: July 11, 2023



Recommendation

That Council approve the proposed alterations to Mizpah Cottage's Carriage Shed at 75 Dufferin Street and direct staff to issue a Heritage Permit accordingly.

Alternatives

- Refuse the proposed alterations to Mizpah Cottage's Carriage Shed.
- Approve the proposed alterations to Mizpah Cottage's Carriage Shed with conditions.

Background

On June 12, 2023, Town staff received an application to alter the Carriage Shed at Mizpah Cottage, 75 Dufferin Street (Appendix A). The Town of Lunenburg registered Mizpah Cottage as a municipal heritage property in 1992 under the Nova Scotia *Heritage Property Act* (Appendix B). The Registration as a municipal heritage property includes the dwelling and the lands and, as such, includes the accessory building.

The current proposal is substantial under the Town's 'Alteration Guidelines for Municipally Registered Heritage Properties' (Appendix C) because it adds a door and changes a window opening to a door on the Carriage House. Under Section 17(1) of the *Heritage Property Act*, substantially altering a municipal heritage property requires Council approval and issuing a heritage permit.

Under section 4.1(a) of the Town's *Heritage Property By-law*, the Heritage Advisory Committee may advise the Town on an application to alter a municipal heritage property substantially. This application is scheduled to go before the Heritage Advisory Committee on July 10, 2023. Staff will present the Heritage Advisory Committee's recommendation during the Council meeting.

Discussion

Mizpah Cottage was registered as a municipal heritage property because it is a local landmark and an example of the Queen Anne Revival style. The municipal designation covers both the building and surrounding land. The Carriage Shed is noted in the property description in its Statement of Significance. The current Heritage Application for 75 Dufferin Street includes repairing existing cedar shingle siding, three window replacements, and shed door replacements. It also includes adaptively

reusing the Carriage Shed as an in-law suite (accessory dwelling), using the second floor as a dwelling and the main floor as a workshop. Adaptively reusing the building includes adding a balcony, a doorway onto the balcony, and changing a window on the main floor into a doorway.

Substantial Alteration – Window Opening to Door Opening and New Door

Under 3(k[1]) of the Nova Scotia *Heritage Property Act*, " 'substantial alteration' means any action that affects or alters the character-defining elements of a property." Mizpah Cottage's significance rests on its prominent location and architectural details that speak to the Kaulbach family's prosperity. Varied window arrangements and all elements derived from more general Victorian trends are listed as character-defining elements.

The applicant has proposed an adaptive reuse design that minimizes the renovation's effect on the historic property. Changes are not on the Carriage Shed's primary façade. The original carriage doors will be replaced with custom wood doors, preserving the practical character of the building. The new balcony door and its placement aligns and conserves the historic pointed window and, thus, the property's varied window arrangements. The new ground floor entrance eases accessibility to the property and separates the new domestic use and the shed's continued utilitarian function. The changes do not drastically alter the form or composition of the building.

Non-Substantial Alterations

Under the Town's 'Alteration Guidelines for Municipally Registered Heritage Properties', the following are non-substantial alterations and should be approved.

- Items the Heritage Officer considers maintenance
- Replacing windows with vinyl inserts of the same design
- Replacing doors with doors that meet the Design Guidelines of the Old Town Lunenburg Heritage Conservation District By-law
- Adding to an existing accessory building in a way that meets the Design Guidelines of the Old Town Lunenburg Heritage Conservation District By-law

All the following proposed changes conform with the Design Guidelines of the Old Town Lunenburg Heritage Conservation District By-law:

- Vinyl window replacements have the same proportions as the original windows and do not alter the established window pattern, conforming with Section 7.10.
- New doors are traditional in style, conforming to Section 7.11. Replacing the original carriage doors with custom wood doors is above and beyond the requirements outlined in the Design Guidelines of the Old Town Lunenburg Heritage Conservation District By-law.
- New balconies are permitted under Section 7.13, provided they are in keeping with the existing style of the structure. Trim should coordinate with existing trim.

- Repair of existing wooden shingles is maintenance and does not require a Certificate of Appropriateness under the Old Town Lunenburg Heritage Conservation District By-law.

Rehabilitation and the Land Use By-law

This project is a rehabilitation as defined in the *Standards and Guidelines for Historic Places in Canada* - "the action or process of making possible a continuing or compatible contemporary use of a historic place, or an individual component, while protecting its heritage value" (page 17). The Town's *Land Use By-law* regulated the use of historic structures. The use of heritage buildings cannot be regulated under Nova Scotia's *Heritage Property Act*. As such, Council cannot vote on whether renovating the Carriage Shed into an in-law suite (accessory dwelling) is appropriate, only on whether the proposed alteration is acceptable.

However, it is worth noting that the *Standards and Guidelines for the Conservation of Historic Places in Canada* argue that "a viable use better guarantees the long-term existence of a historic place" (page 4). It recommends finding a compatible use for a historic place unless its use is part of its heritage value (page 4). The continued use of the Carriage Shed as a shed is not part of its heritage value as defined in its Statement of Significance, and the property as a whole is a historic home. Ensuring the Carriage Shed's frequent use should lead to better maintenance and conservation in the long term.

Strategic Plan Relevance

Heritage

- Preserve the valuable heritage resources of Lunenburg while embracing an ongoing landscape evolution.

Relevant Legislation

Nova Scotia *Heritage Property Act*

Town of Lunenburg *Heritage Property By-law*

Town of Lunenburg *Land Use By-Law*

Financial

There are no financial implications for the Town.

Communications

Decisions will be communicated to the applicant after Council votes on the proposal.

Attachments

Appendix A – Proposed Design

Appendix B – Mizpah Cottage Statement of Significance

Appendix C – Alteration Guidelines for Municipally Registered Heritage Properties

DRAWING LIST

SHEET NUMBER	SHEET NAME
A001	GENERAL NOTES
A002	SITE PLAN
A003	WINDOW & DOOR SCHEDULE ASSEMBLY & FINISH TAGS
A101	MAIN FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	EXISTING MAIN FLOOR PLAN
A104	EXISTING SECOND FLOOR PLAN
A201	FRONT & REAR ELEVATIONS
A202	SIDE ELEVATIONS
A301	BUILDING SECTION, DECK FRAMING PLAN
A501	RENDERINGS



VANTAGE POINT

DESIGN & CONSULTING INC.

CARRIAGE HOUSE
75 DUFFERIN ST.
LUNENBURG, NOVA SCOTIA

PROJECT NOTES

GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL BUILDING CODE OF CANADA LATEST EDITION, LOCAL BY-LAWS AND AUTHORITIES HAVING JURISDICTION.
2. NO ALTERATIONS TO STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.
3. THE FOLLOWING SHOP DWGS SHALL BE SUBMITTED TO VANTAGE POINT FOR REVIEW: DOORS / WINDOWS / HARDWARE / EXTERIOR CLADDING.
4. IN THE EVENT OF CONFLICT BETWEEN THE SPECIFICATIONS AND THE DRAWINGS PLEASE NOTIFY VANTAGE POINT DESIGN & CONSULTING FOR CLARIFICATION.
5. CONTRACTOR IS TO ENSURE THAT THE SITE IS SAFE AND SECURE AT ALL TIMES. THESE DRAWINGS DO NOT INDICATE ELEMENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY MEASURES PERTAINING TO THE PROJECT INCLUDING, BUT NOT LIMITED TO, SAFETY FENCE (AS PER NBC PART 8).
6. THE CONTRACTOR MUST FIELD VERIFY ALL PERTINENT DIMENSIONS /AND ELEVATIONS PRIOR TO BEGINNING WORK AND REPORT ANY ERRORS OR OMISSIONS TO VANTAGE POINT.
7. THE CONTRACTOR TO PROVIDE SPECIFICATION DOCUMENTS FOR ALL PRE-ENGINEERED PRODUCTS.
8. PLANS AND SPECIFICATIONS ARE THE PROPERTY OF VANTAGE POINT DESIGN & CONSULTING AND ARE NOT TO BE REPRODUCED OR DISTRIBUTED WITHOUT CONSENT OF VP DESIGN & CONSULTING OR SHALL BE USED ON OTHER PROJECTS OR EXTENSIONS TO THE PROJECT.
9. DO NOT SCALE THE DRAWINGS.
10. THIS DRAWING MUST NOT BE USED FOR CONSTRUCTION UNLESS SHEETS ARE IDENTIFIED SPECIFICALLY AS ISSUED FOR CONSTRUCTION.
11. CONSTRUCTION ERRORS ARE TO BE DOCUMENTED AND REPORTED TO VANTAGE POINT PRIOR TO PROCEEDING WITH SUBSEQUENT WORK.
12. REFER TO ELEVATIONS FOR EXTERIOR CLADDING TRANSITIONS.
13. ALL INTERIOR TRIM AND WOOD TO BE PRIME COAT PAINTED FOLLOWED BY TWO COATS FINISH PAINT.
14. ALL RETAINING WALLS OVER 1.0m IN HEIGHT TO BE PROTECTED WITH A HANDRAIL 1.05m IN HEIGHT. ALL RETAINING WALLS OVER 0.6m IN HEIGHT LOCATED BY A PEDESTRIAN TRAVEL PATH TO BE PROTECTED BY A GUARD (AS PER 2010 NBC 9.8.8.)
15. LANDSCAPING TO BE DONE IN SUCH A WAY AS TO ALLOW FOR POSITIVE DRAINAGE OF STORM WATER FROM AROUND THE BUILDING. (MAX 2% SLOPE TO NEIGHBORING PROPERTIES)
16. ALL DISTURBED SOIL AREAS ARE TO BE COVERED WITH GRAVEL, ASPHALT, CONCRETE PAVERS, MULCH OR TOPSOIL / SOD.
17. IF UNUSUAL OR UNANTICIPATED SITE CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION, THE BUILDER SHALL ADVISE VANTAGE POINT DESIGN & CONSULTING PRIOR TO PROCEEDING.

FRAMING:

1. ALL DIMENSIONAL WOOD FRAMING TO BE No.2 SPF OR BETTER.
2. EXTERIOR WALL SHEATHING TO BE $\frac{1}{2}$ " PLYWOOD NAILED @ 8" O/C @ EDGES.
3. ROOF SHEATHING TO BE $\frac{5}{8}$ " PLYWOOD MIN FOR METAL ROOFING & $\frac{1}{2}$ " PLYWOOD FOR ASPHALT SHIGLES
4. SOLID BLOCKING IS TO BE INSTALLED IN ALL SHELVING & MILLWORK LOCATIONS, AND ROUGH-IN FOR FUTURE BATHROOM GRAB BARS
5. LOAD-BEARING WALLS TO HAVE MULTI-PLY BOTTOM PLATE AND BEAR DIRECTLY ON STRIP FOOTING. SLAB TO BE POURED UP TO PLATES, AND ALL WOOD ELEMENTS IN CONTACT WITH CONCRETE TO BE WRAPPED IN BLUESKIN.
6. IN ALL HIGH MOISTURE AREAS (FOYER, BATHROOM, LAUNDRY) PROVIDE WATERPROOF MEMBRANE UNDER FINISHED FLOOR.

STAIRS:

1. ALL STAIRS TO CONFORM TO MINIMUM REQUIREMENTS OF NBC 9.8.2 & 9.8.4
2. ALL STANDARD GUARDS TO BE 42" IN HEIGHT
3. ALL STANDARD STAIR RAILINGS 34-38" HIGH AND CONTINUOUS THROUGHOUT THE LENGTH OF THE STAIR
4. ALL STAIRS TO HAVE 11" TREADS UNLESS NOTED OTHERWISE

SITE WORK & UTILITIES:

1. TRENCH FOR NEW SEPTIC & WELL LINES TO DWELLING.

HVAC/ELECTRICAL/PLUMBING:

1. ALL BEDROOMS TO HAVE HARDWIRED SMOKE/CO2 ALARM.
2. HRV SYSTEM TO BE INSTALLED & CERTIFIED BY A QUALIFIED INSTALLER.
3. ALL BATHROOMS TO HAVE EXHAUST FAN UNITS DUCTED TO EXTERIOR.
4. KITCHEN RANGEHOOD DUCTED WITH METAL DUCTING AND METAL EXHAUST COVER SUITABLE FOR GAS RANGE.
5. HEATING SYSTEM TO BE DUCTLESS MINI SPLIT HEAT PUMPS WITH ELECTRIC BASEBOARD BACKUP
6. ALL ASSEMBLIES TO MEET MINIMUM INSULATION REQUIREMENTS OF NBC 9.36 (ZONE 6).
7. AIR INTAKE VENTS TO BE LOCATED 10' MIN FROM ALL OTHER VENTS (12' FROM SANITARY VENT) (AS PER NBC 6.3.2.9.)
8. PROPANE TANKS TO MEET MIN. REQUIRED CLEARANCES OF ALL WINDOWS AND ELECTRICAL DEVICES.
9. CHIMNEY FLUES TO EXTEND MIN. 2' ABOVE HIGHEST ROOF PEAK (AS PER NBC 9.21.4.4.). REFER TO W.E.T.T. CERTIFIED TECHNICIAN FOR INSTALLATION REQUIREMENTS.

WINDOW & DOOR SCHEDULE

1. ALL LISTED WINDOW DIMENSIONS ARE TIP TO TIP OF UNITS
2. WINDOW & DOOR UNITS TO CONFIRM TO LATEST ENERGY GUIDE STANDARDS FOR APPROPRIATE CLIMATE ZONE
3. ALL WINDOW SIZES TO BE CONFIRMED BY CONTRACTOR AND MANUFACTURER REPRESENTATIVE. RSO'S TO BE FRAMED BASED ON MANUFACTURER WINDOW & DOOR ORDER.
4. ALL WINDOW & DOOR UNITS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS
5. ALL BEDROOM WINDOW UNITS TO CONFORM TO EGRESS REQUIREMENTS
6. ALL EXTERIOR DOORS TO HAVE MIN. 2" DROP FROM SILL ELEVATION TO PREVENT DAMMING OF ICE AND SNOW
7. ALL WINDOW AND DOOR DETAILS TO BE CONFIRMED AND SIGNED OFF BY CLIENT PRIOR TO PLACEMENT OF ORDER



DESIGN & CONSULTING INC.

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PROJECT NORTH

LEGEND:

	DOOR TAG
	WINDOW TAG
	CONSTRUCTION TYPE TAG
	FINISHES TAG
	RENOVATION TAG
	MODIFIED WALLS
	ELEVATION MARKER
	SMOKE/CO ALARM

NOTES:

REVISIONS:

STATUS: PERMIT PLANS V1.2

CLIENT/SITE:
JEN & JOHN BUDGELL
75 DUFFERIN ST. (CARRIAGE HOUSE)
LUNENBURG, NOVA SCOTIA

PROJECT:
RENOVATION

DRAWN BY: BA CHECKED BY: JB

DATE: JUNE 26, 2023









GENERAL NOTES

A001



PROJECT NORTH

LEGEND:

-  DOOR TAG
-  WINDOW TAG
-  CONSTRUCTION TYPE TAG
-  FINISHES TAG
-  RENOVATION TAG
-  MODIFIED WALLS
-  ELEVATION MARKER
-  SMOKE/CO ALARM

NOTES:

REVISIONS:

STATUS: PERMIT PLANS V1.2

CLIENT/SITE:
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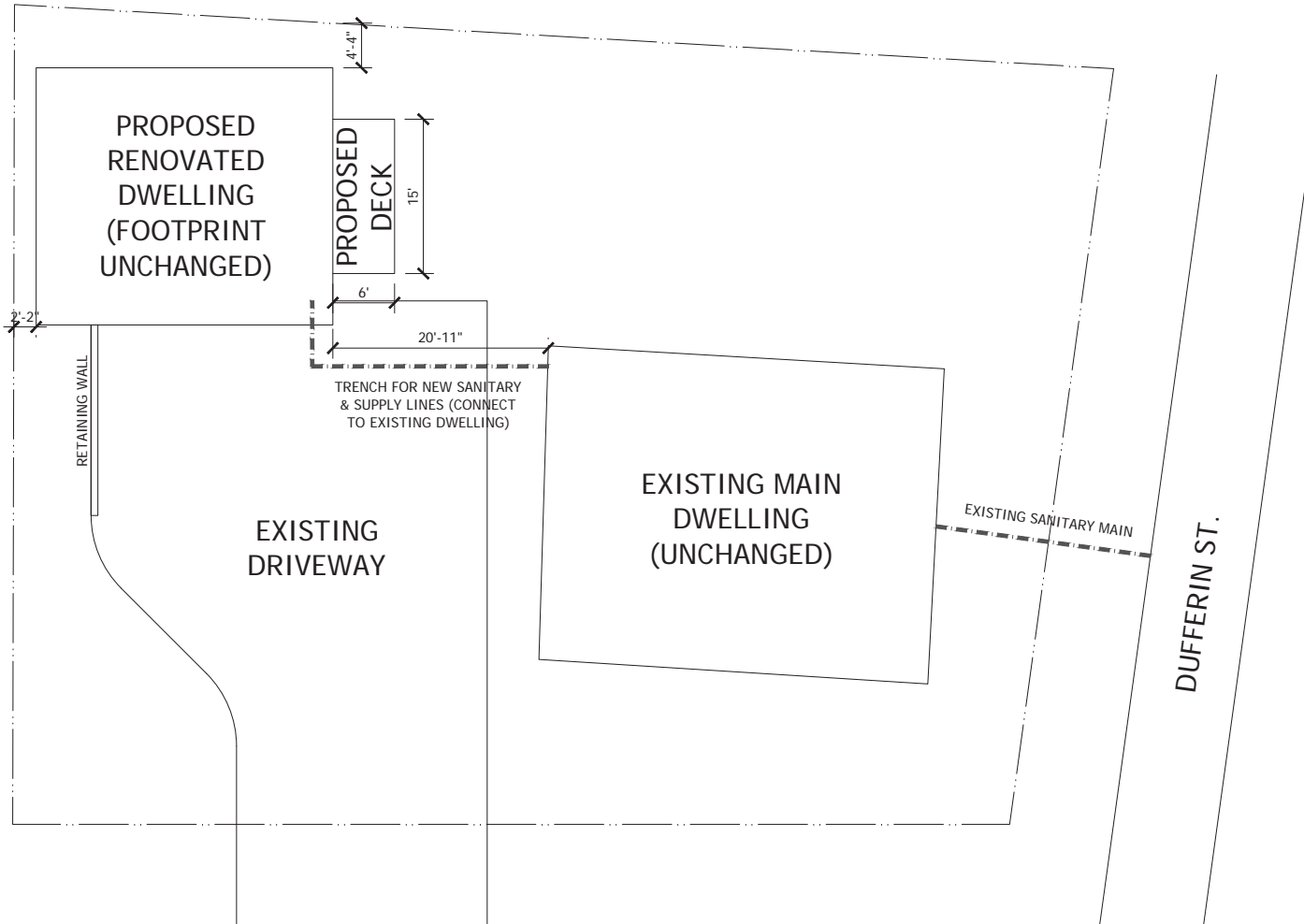
PROJECT:
RENOVATION

DRAWN BY: BA CHECKED BY: JB



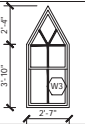
DATE: JUNE 26, 2023

SITE PLAN




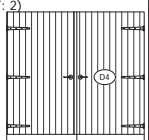
A002






WINDOW SCHEDULE

EXTERIOR ELEVATION VIEW	TAG #	DIMS.	LOCATION(S)	COMMENTS & SPECIAL INSTRUCTIONS
(QTY: 1) 	W1	37"x20" TRANSOM	PRIMARY BEDROOM	- FIXED TRANSOM WINDOW W/ MULLIONS - NAILING FLANGE EXTENSION (NO BRICK MOULD) - HARDWARE COLOR: WHITE - BLACK EXTERIOR / WHITE INTERIOR
(QTY: 2) 	W2	30"x 52"	OFFICE WORKSHOP	- REPLACE EXISTING WOOD SINGLE-HUNG WINDOW W/ VINYL SINGLE-HUNG WINDOW W/ MULLIONS - NAILING FLANGE EXTENSION (NO BRICK MOULD) - HARDWARE COLOR: WHITE - BLACK EXTERIOR / WHITE INTERIOR
(QTY: 1) 	W3	CUSTOM UNIT 46"x 31" W/ 28" ANGLED TOP	LIVING ROOM	- REPLACE EXISTING WOOD SINGLE-HUNG WINDOW W/ VINYL FIXED SDL WINDOW W/ MULLIONS - NAILING FLANGE EXTENSION (NO BRICK MOULD) - HARDWARE COLOR: WHITE - BLACK EXTERIOR / WHITE INTERIOR








EXTERIOR DOOR SCHEDULE

EXTERIOR ELEVATION VIEW	TAG #	DIMS.	LOCATION(S)	COMMENTS & SPECIAL INSTRUCTIONS
(QTY: 1) 	D1	36"x80"	ENTRY HALLWAY	- INSULATED STEEL DOOR W/ 1/3 GLASS INSERT W/ MULLIONS - BLACK EXTERIOR / WHITE INTERIOR - BLACK DOOR HARDWARE
(QTY: 1) 	D2	36"x80"	LIVING ROOM	- INSULATED STEEL DOOR W/ FULL GLASS INSERT W/ MULLIONS - BLACK EXTERIOR / WHITE INTERIOR - BLACK DOOR HARDWARE
(QTY: 1) 	D3	28"x28"	CRAWL SPACE	- EXISTING CRAWL SPACE HATCH - TO BE INSULATED AND GASKET SEAL ADDED - PAINTED TO MATCH TRIM COLOR
(QTY: 2) 	D4	100"x95"	WORKSHOP	- INSULATED CUSTOM WOOD CARRIAGE DOUBLE DOORS TO REPLACE EXISTING (LARGER OPENING TO BE FRAMED IN AND TRIMMED TO MATCH SMALLER OPENING) - MATCH TRIM COLOUR / WHITE INTERIOR - BLACK DOOR HARDWARE

INTERIOR DOOR SCHEDULE

	3'-0"x6'-8" SOLID CORE PAINTED INTERIOR DOOR, BLACK PASSAGE HARDWARE
	3'-0"x6'-8" SOLID CORE PAINTED INTERIOR DOOR, BLACK PRIVACY HARDWARE
	3'-0"x6'-8" SOLID CORE PAINTED INTERIOR 45-MIN FIRE-RATED DOOR, BLACK PASSAGE HARDWARE

ASSEMBLIES SCHEDULE:

CT1.1 	- EXISTING CEDAR SHAKE PATCHED & REPAIRED AS NEEDED THEN PAINTED - EXISTING SHEATHING - EXISTING WALL STUDS W/ FURRING TO ACCOMMODATE REQUIRED INSULATION - R-24 ROXUL SAFE & SOUND INSULATION - 5/8" TYPE-X GYPSUM BOARD FINISH (FASTENED @ 8" O/C ALONG ALL FRAMING MEMBERS)	WALL-EXTERIOR (CEDAR SHAKE) (T.9.10.3.1.-A EW1a)
CT1.2 	- EXISTING WALL ASSEMBLY - 3" SPRAYFOAM INSULATION - HIBAR SPRAY-APPLIED FIREPROOFING	WALL-EXTERIOR (CRAWL SPACE)
CT2.1 	- 1/2" GYPSUM BOARD - 2x4 WOOD STUD @ 16" O/C (2x6 MARKED WITH *) - SOUND BATTENS IN BEDROOM & BATHROOM WALLS - 1/2" GYPSUM BOARD	WALL-INTERIOR (PARTITION)
CT2.2 	- 5/8" TYPE-X GYPSUM BOARD - RESILIENT CHANNEL @ 16" O/C - 2x4 WOOD STUD @ 16" O/C (2x6 MARKED WITH *) - 2 LAYERS 5/8" TYPE X GYPSUM BOARD	WALL-INTERIOR (FIRE-RATED PARTITION) (T.9.10.3.1.-A W4a)
CT3.1 	- EXISTING ASPHALT SHINGLES - EXISTING PLYWOOD ROOF SHEATHING - EXISTING 5"x10 1/2" RS ROOF RAFTERS - CLEATS FOR 1/2" OSB IN JOIST SPACES TO CREATE 1 1/2" AIR SPACE, W/ R-32 SPRAYFOAM INSULATION - CLEATS W/ 1x6 SHIPLAP FINISH	ROOF ASSEMBLY (ASPHALT SHINGLES)
CT4.1 	- 3/4 T&G PLYWOOD SUBFLOOR - 6MM V.B. - 2.5" OF RIGID FOAM (MIN 15 PSI DENSITY) - COMPACTED AGGREGATE BASE FOR LEVELING - SOIL COMPACTED AS NEEDED	FLOOR ASSEMBLY- ON GRADE FLOOR
CT4.2 	- EXISTING 3/4" T&G OSB SUBFLOOR - EXISTING DIMENSIONAL FLOOR JOISTS @ 16" O/C - 6" ROXUL SAFE & SOUND INSULATION - RESILIENT CHANNEL 16" O/C - 2 LAYERS 5/8" TYPE-X GYPSUM BOARD FINISH	FLOOR ASSEMBLY- FLOOR JOISTS (T.9.10.3.1.-B F9g)

EXTERIOR FINISH SCHEDULE

X1	CEDAR SHAKE SIDING
X2	5/8 x 6" TAMARACK DECKING
X3	PAINTED PINE RAILING & POSTS

INTERIOR FINISH SCHEDULE

N1	LUXURY VINYL PLANK OVER SUBFLOOR
N2	3/4" x 8" PLANK FLOORING OVER SUBFLOOR (SITE FINISHED TO MATCH EXISTING)
N3	RE-TREAD EXISTING STAIRS W/ NEW HARDWOOD TREADS











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PROJECT NORTH

LEGEND:

	DOOR TAG
	WINDOW TAG
	CONSTRUCTION TYPE TAG
	FINISHES TAG
	RENOVATION TAG
	MODIFIED WALLS
	ELEVATION MARKER
	SMOKE/CO ALARM

NOTES:

Rev 1 - Modify CT2.2, CT4.2

REVISIONS:

05.16.2023:
- MODIFIED CT2.2, CT4.2

06.26.2023:
- CHANGES TO D2, D4, AND ADDITIONAL W2 LOCATION ADDED

STATUS: PERMIT PLANS V1.2

CLIENT/SITE:
JEN & JOHN BUDGELL
75 DUFFERIN ST. (CARRIAGE HOUSE)
LUNENBURG, NOVA SCOTIA

PROJECT:
RENOVATION

DRAWN BY: BA CHECKED BY: JB

DATE: JUNE 26, 2023









WINDOW AND DOOR SCHEDULE

A003



PROJECT NORTH

LEGEND:

	DOOR TAG
	WINDOW TAG
	CONSTRUCTION TYPE TAG
	FINISHES TAG
	RENOVATION TAG
	MODIFIED WALLS
	ELEVATION MARKER
	SMOKE/CO ALARM

PLAN NOTES:
GENERAL NOTES:

1. ALL HABITABLE & SERVICE AREAS TO HAVE 36" DOORWAYS
2. ALL BEDROOMS TO HAVE HARDWIRED SMOKE/CO2 ALARM
3. SOLID BLOCKING IS TO BE INSTALLED FOR FUTURE BATHROOM GRAB BARS

PROJECT SPECIFIC NOTES:

1. HEAT PUMPS TO BE RELOCATED FROM MAIN HOUSE TO CARRIAGE HOUSE
2. ELECTRICAL PANEL TO BE RELOCATED TO ACCOMMODATE NEW GARAGE DOOR

REVISIONS:

06.26.2023:

- CHANGES TO D4 GARAGE DOORS
- ADDITIONAL W2 ADDED IN WORKSHOP (EXISTING)
- D03 ADDED TO WORKSHOP FROM HALLWAY
- STRUCTURE MODIFIED AROUND D4 DOOR CHANGES

STATUS: PERMIT PLANS V1.2

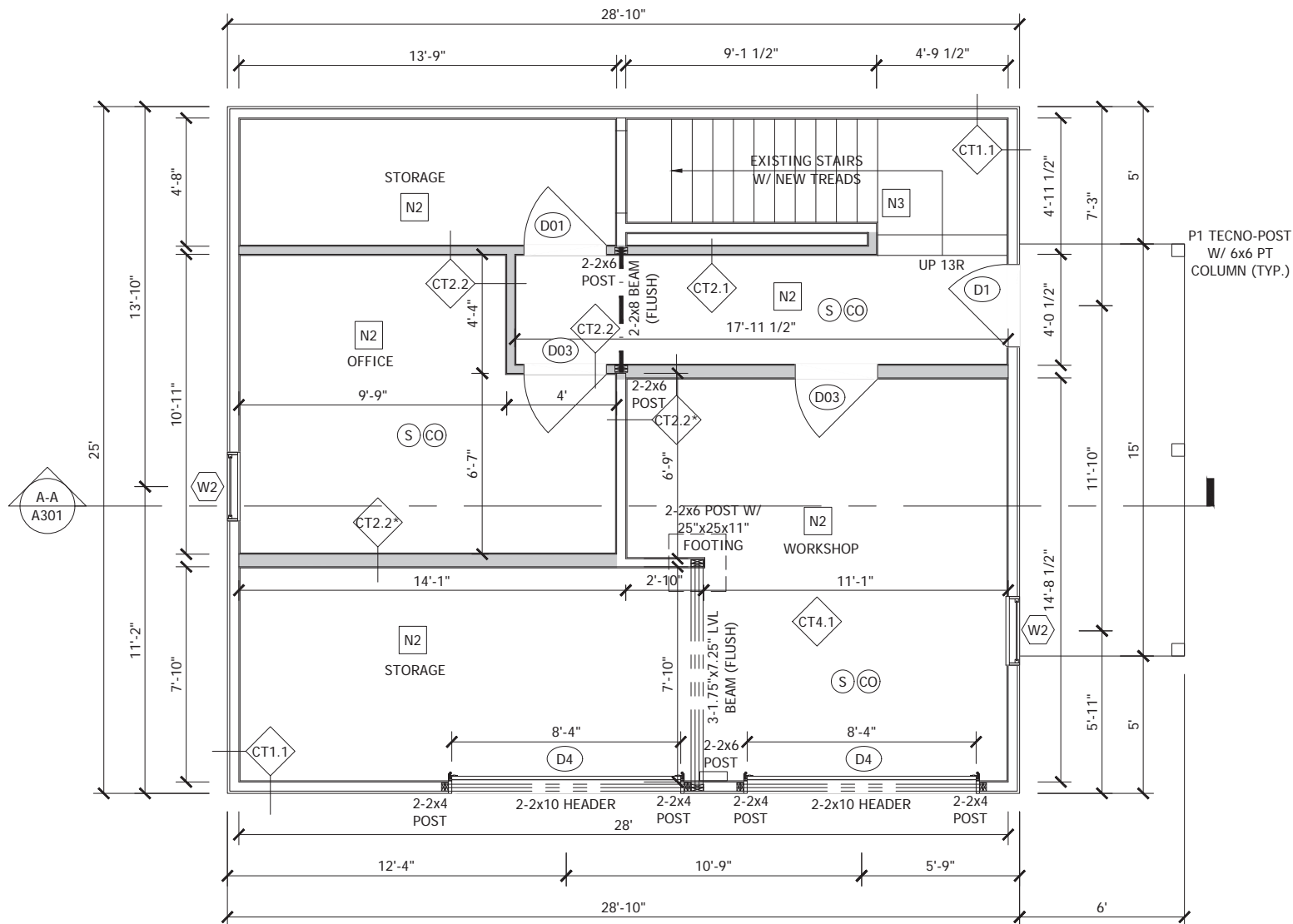
 CLIENT/SITE:
JEN & JOHN BUDGELL
 75 DUFFERIN ST. (CARRIAGE HOUSE)
 LUNENBURG, NOVA SCOTIA

 PROJECT:
 RENOVATION

DRAWN BY: BA CHECKED BY: JB

DATE: JUNE 26, 2023

MAIN FLOOR PLAN

A102




PROJECT NORTH

LEGEND:

- DOOR TAG
- WINDOW TAG
- CONSTRUCTION TYPE TAG
- FINISHES TAG
- RENOVATION TAG
- MODIFIED WALLS
- ELEVATION MARKER
- SMOKE/CO ALARM

PLAN NOTES:

GENERAL NOTES:

1. ALL HABITABLE & SERVICE AREAS TO HAVE 36" DOORWAYS
2. ALL BEDROOMS TO HAVE HARDWIRED SMOKE/CO2 ALARM
3. SOLID BLOCKING IS TO BE INSTALLED FOR FUTURE BATHROOM GRAB BARS

PROJECT SPECIFIC NOTES:

1. HEAT PUMPS TO BE RELOCATED FROM MAIN HOUSE TO CARRIAGE HOUSE
2. ELECTRICAL PANEL TO BE RELOCATED TO ACCOMMODATE NEW GARAGE DOOR

REVISIONS:

- 06.26.2023:
 - CHANGES TO D2 AND EXISTING W3 ADDED TO PLAN

STATUS: PERMIT PLANS V1.2

CLIENT/SITE:
 JEN & JOHN BUDGELL
 75 DUFFERIN ST. (CARRIAGE HOUSE)
 LUNENBURG, NOVA SCOTIA

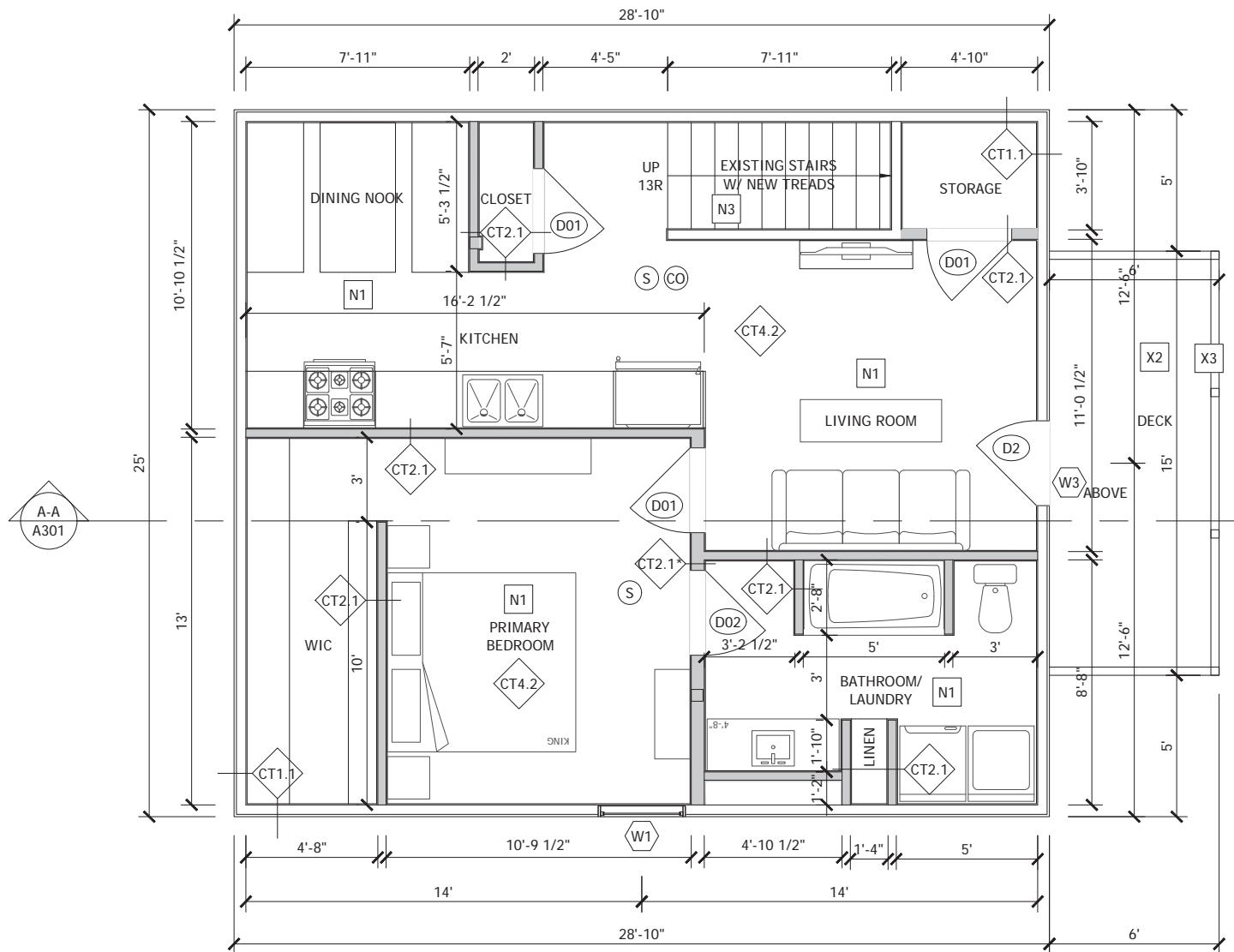
PROJECT:
 RENOVATION

DRAWN BY: BA CHECKED BY: JB

DATE: JUNE 26, 2023

SECOND FLOOR PLAN

A103











SECOND FLOOR PLAN
 3/8" = 1'-0"



PROJECT NORTH

LEGEND:

-  DOOR TAG
-  WINDOW TAG
-  CONSTRUCTION TYPE TAG
-  FINISHES TAG
-  RENOVATION TAG
-  MODIFIED WALLS
-  ELEVATION MARKER
-  SMOKE/CO ALARM

NOTES:

REVISIONS:

STATUS: PERMIT PLANS V1.2

CLIENT/SITE:
JEN & JOHN BUDGELL
75 DUFFERIN ST. (CARRIAGE HOUSE)
LUNENBURG, NOVA SCOTIA

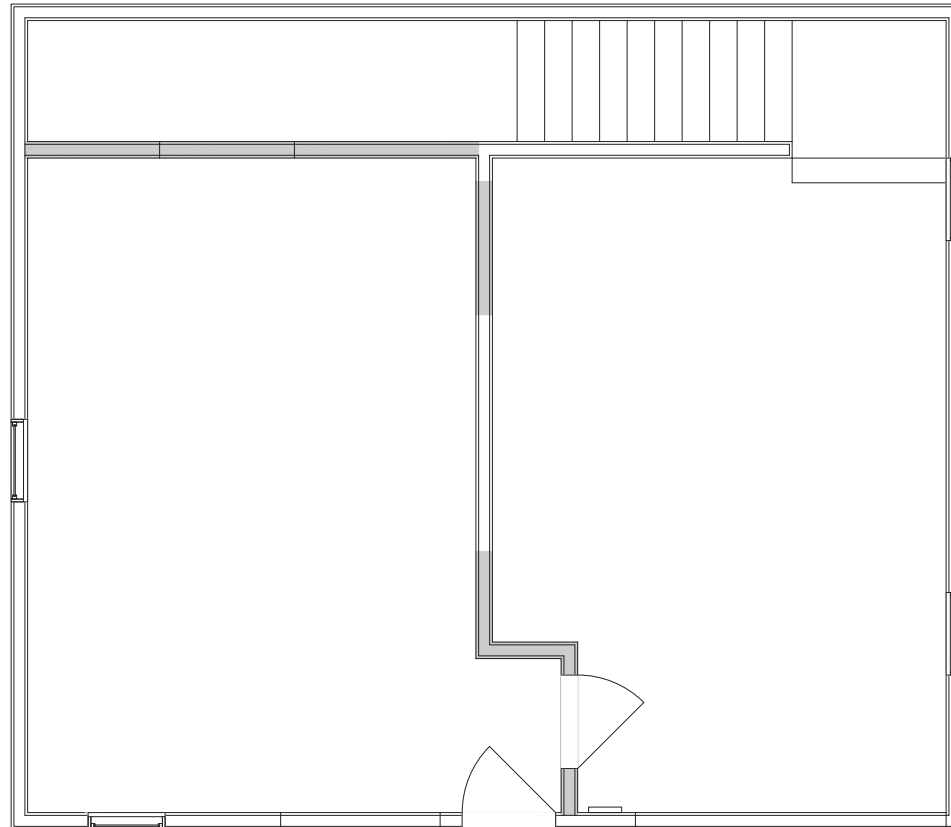
PROJECT:
RENOVATION

DRAWN BY: BA CHECKED BY: JB

DATE: JUNE 26, 2023

EXISTING MAIN FLOOR PLAN

A105













DESIGN & CONSULTING INC.

JONATHAN@VANTAGEPOINTPLANS.CA
BENJAMIN@VANTAGEPOINTPLANS.CA
782.414.5624



PROJECT NORTH

LEGEND:

-  DOOR TAG
-  WINDOW TAG
-  CONSTRUCTION TYPE TAG
-  FINISHES TAG
-  RENOVATION TAG
-  MODIFIED WALLS
-  ELEVATION MARKER
-  SMOKE/CO ALARM

NOTES:

REVISIONS:

STATUS: PERMIT PLANS V1.2

CLIENT/SITE:
JEN & JOHN BUDGELL
75 DUFFERIN ST. (CARRIAGE HOUSE)
LUNENBURG, NOVA SCOTIA

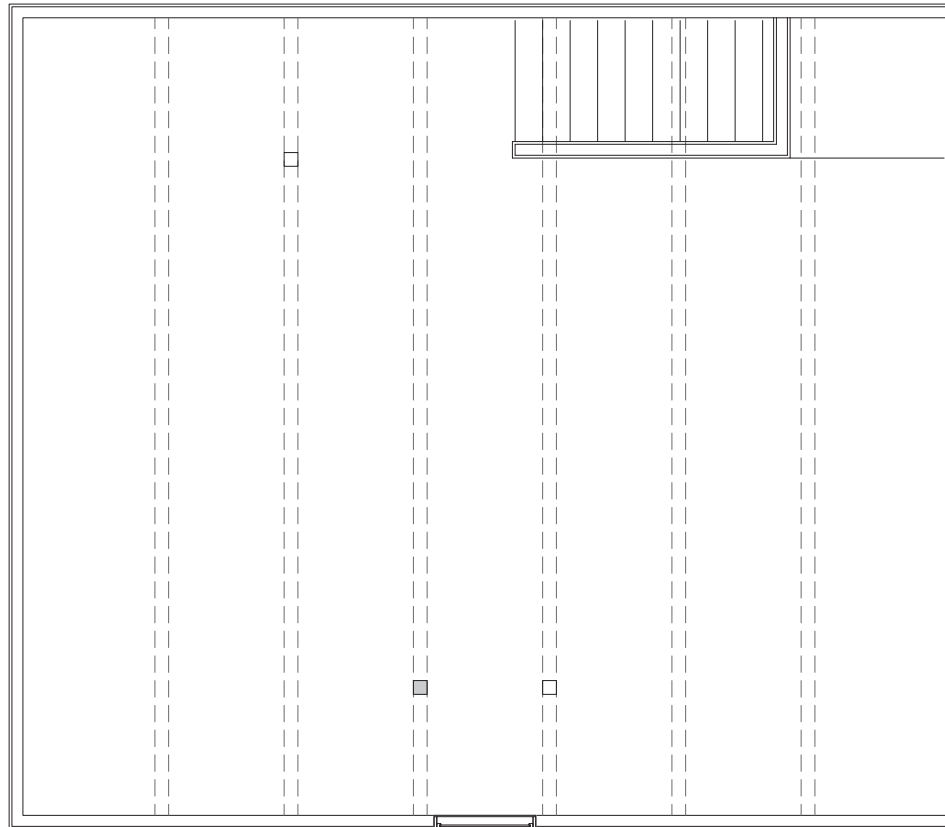
PROJECT:
RENOVATION

DRAWN BY: BA CHECKED BY: JB

DATE: JUNE 26, 2023

EXISTING SECOND FLOOR PLAN

A106



EXISTING SECOND FLOOR PLAN
3/8" = 1'-0"



DESIGN & CONSULTING INC.

JONATHAN@VANTAGEPOINTPLANS.CA
BENJAMIN@VANTAGEPOINTPLANS.CA
782.414.5624



PROJECT NORTH

LEGEND:

- DOOR TAG
- WINDOW TAG
- CONSTRUCTION TYPE TAG
- FINISHES TAG
- RENOVATION TAG
- MODIFIED WALLS
- ELEVATION MARKER
- SMOKE/CO ALARM

NOTES:

REVISIONS:

- 06.26.2023: CHANGES TO D4 GARAGE DOOR, AND ADDITIONAL DOOR ADDED

STATUS: PERMIT PLANS V1.2

CLIENT/SITE:
JEN & JOHN BUDGELL
75 DUFFERIN ST. (CARRIAGE HOUSE)
LUNENBURG, NOVA SCOTIA

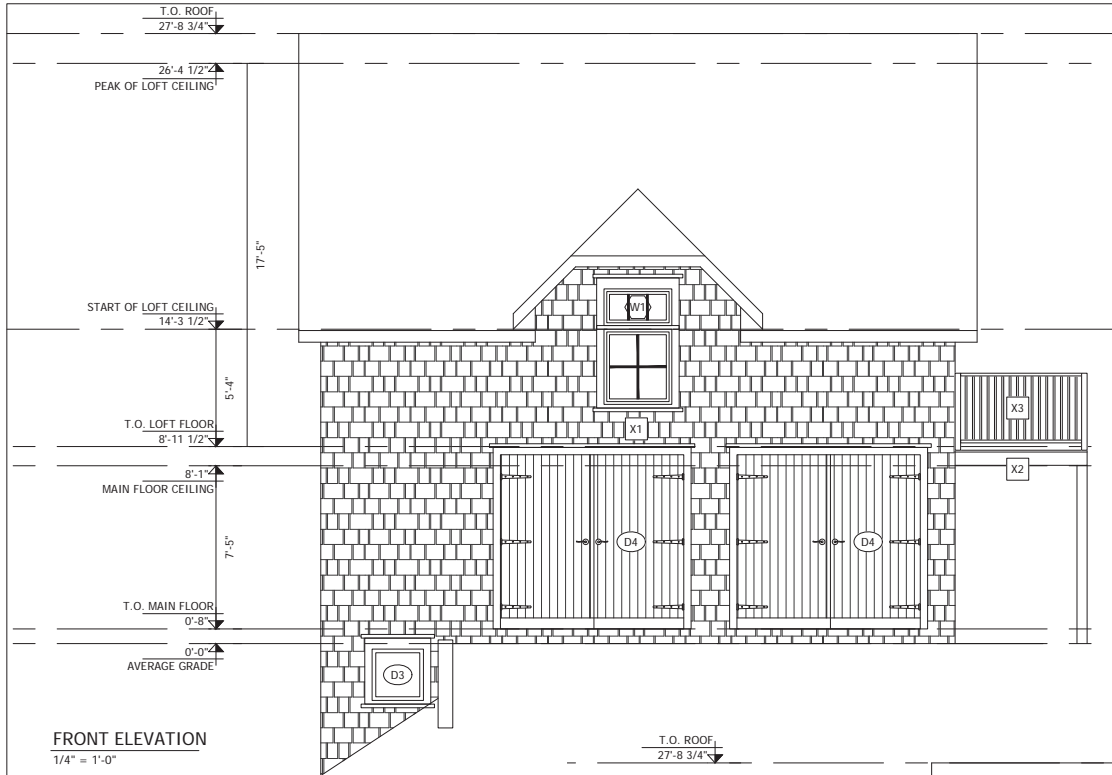
PROJECT:
RENOVATION

DRAWN BY: BA CHECKED BY: JB

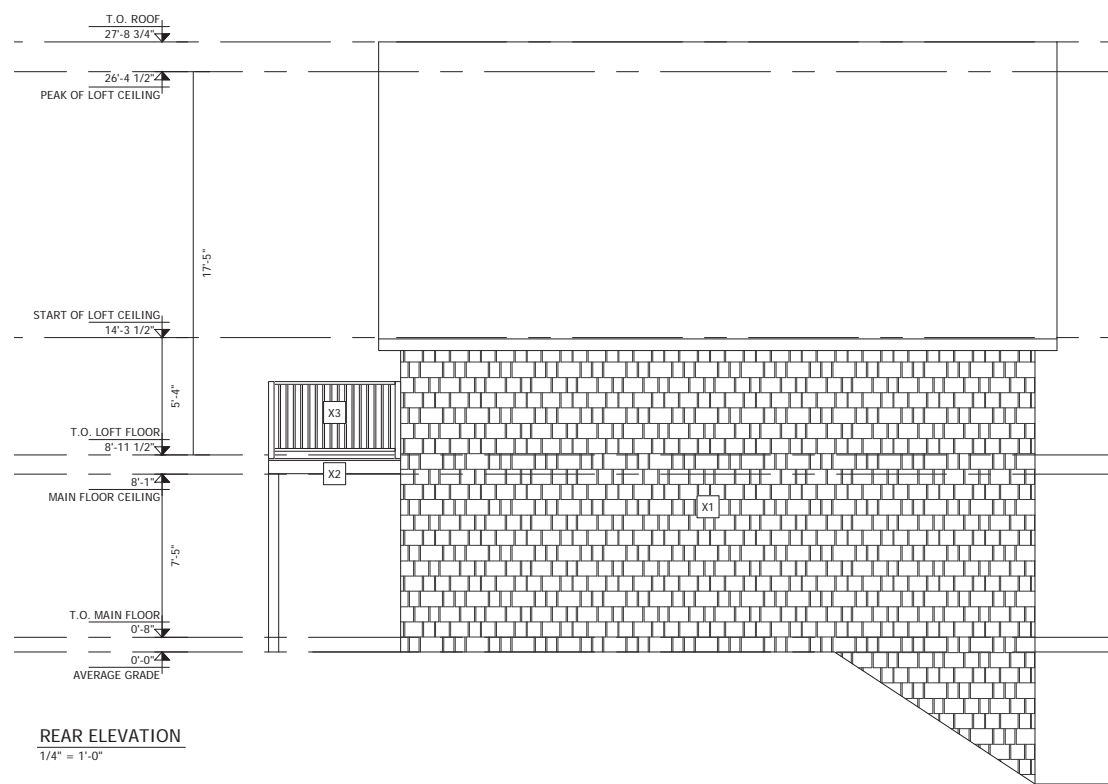
DATE: JUNE 26, 2023

ELEVATIONS

A201



FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



PROJECT NORTH

LEGEND:

- D1 DOOR TAG
- W1 WINDOW TAG
- CT1 CONSTRUCTION TYPE TAG
- 1 FINISHES TAG
- R1 RENOVATION TAG
- MODIFIED WALLS
- ELEVATION MARKER
- S SMOKE/CO ALARM

NOTES:

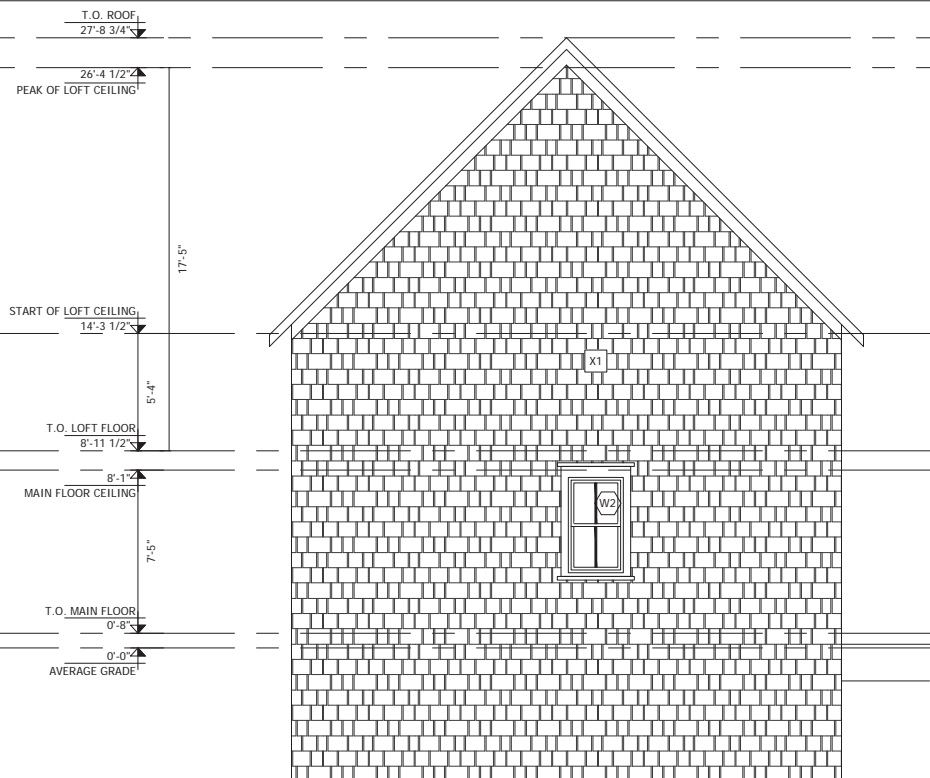
REVISIONS:

- 06.26.2023: CHANGES TO D2 AND W3 ADDED (EXISTING)
- D1 TO WORKSHOP REMOVED, W2 (EXISTING) ADDED

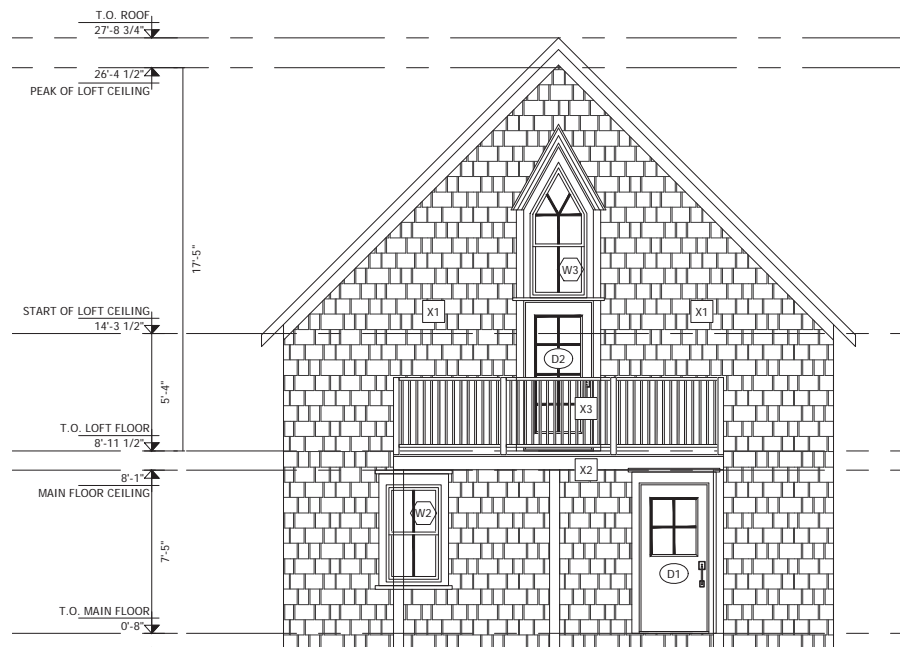
STATUS: PERMIT PLANS V1.2
 CLIENT/SITE: JEN & JOHN BUDGELL
 75 DUFFERIN ST. (CARRIAGE HOUSE)
 LUNENBURG, NOVA SCOTIA

PROJECT: RENOVATION
 DRAWN BY: BA CHECKED BY: JB
 DATE: JUNE 26, 2023

ELEVATIONS
A202



LEFT SIDE ELEVATION
 1/4" = 1'-0"









RIGHT SIDE ELEVATION
 1/4" = 1'-0"



PROJECT NORTH

LEGEND:

-  DOOR TAG
-  WINDOW TAG
-  CONSTRUCTION TYPE TAG
-  FINISHES TAG
-  RENOVATION TAG
-  MODIFIED WALLS
-  ELEVATION MARKER
-  SMOKE/CO ALARM

NOTES:

REVISIONS:

STATUS: PERMIT PLANS V1.2

CLIENT/SITE:
JEN & JOHN BUDGELL
75 DUFFERIN ST. (CARRIAGE HOUSE)
LUNENBURG, NOVA SCOTIA

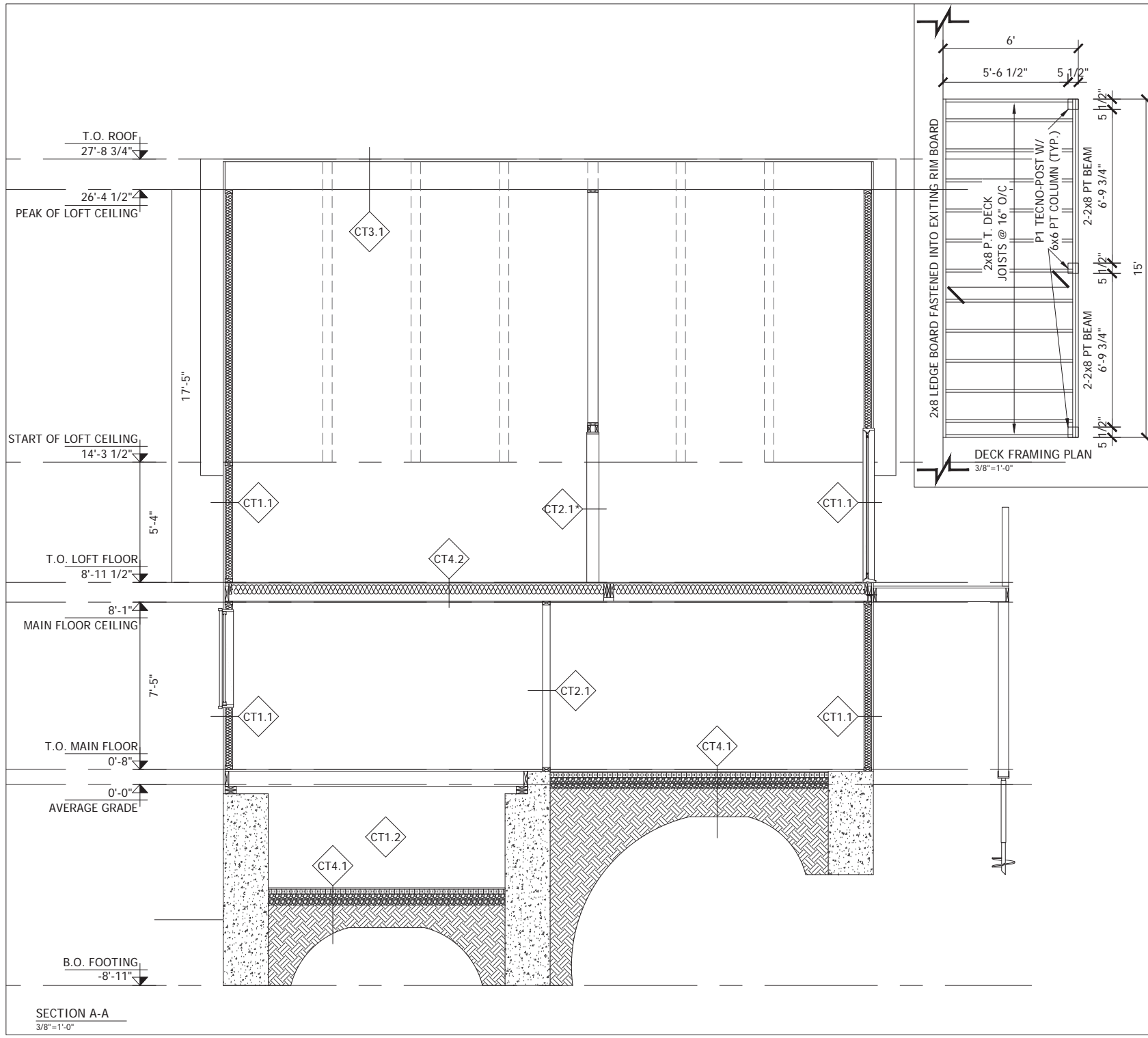
PROJECT:
RENOVATION

DRAWN BY: BA CHECKED BY: JB

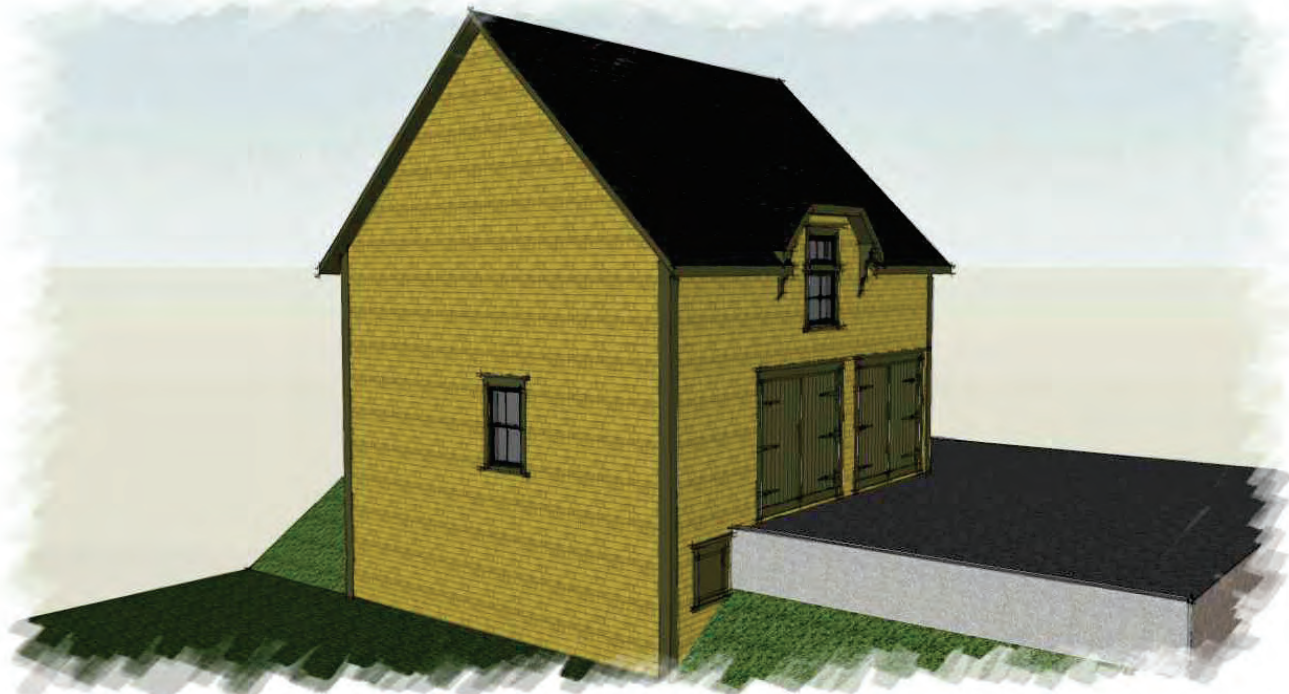
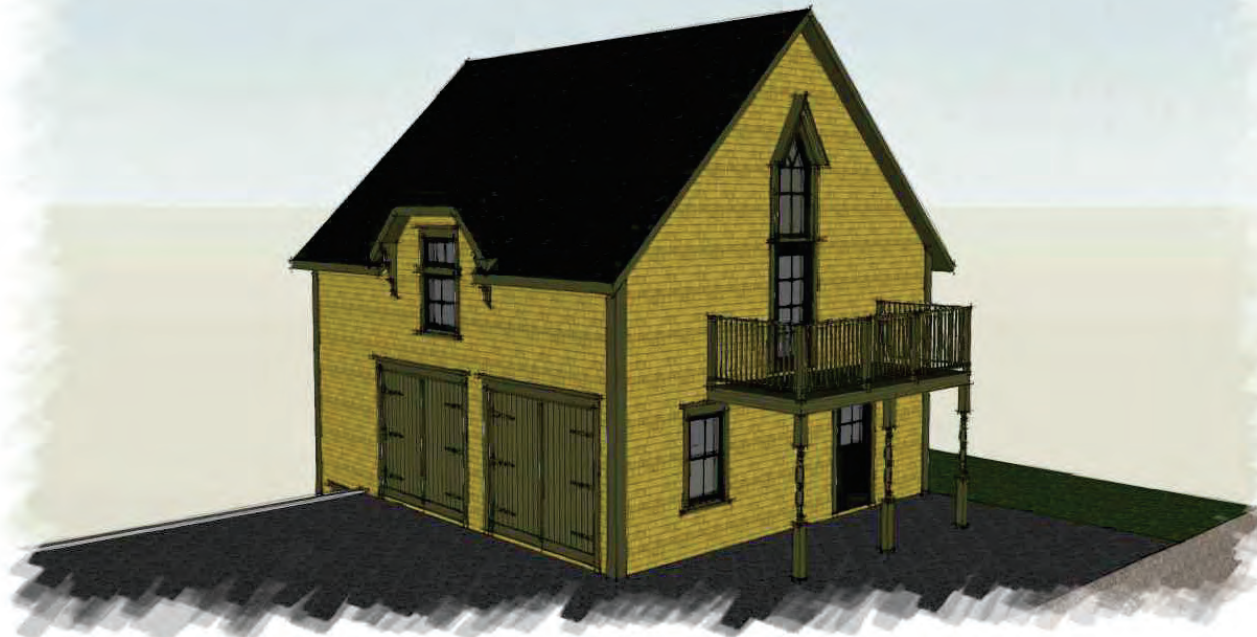
DATE: JUNE 26, 2023

SECTION, DECK FRAMING PLAN

A301



SECTION A-A
3/8"=1'-0"



PROJECT NORTH

LEGEND:

- DT DOOR TAG
- W1 WINDOW TAG
- CT1 CONSTRUCTION TYPE TAG
- 1 FINISHES TAG
- RT RENOVATION TAG
- MODIFIED WALLS
- ELEV. ↓ ELEVATION MARKER
- S SMOKE/CO ALARM

NOTES:

REVISIONS:

06.26.2023:
- RENDERINGS UPDATED FOR WINDOW AND DOOR CHANGES

STATUS: PERMIT PLANS V1.2

CLIENT/SITE:
JEN & JOHN BUDGELL
75 DUFFERIN ST. (CARRIAGE HOUSE)
LUNENBURG, NOVA SCOTIA

PROJECT:
RENOVATION

DRAWN BY: BA CHECKED BY: JB

DATE: JUNE 26, 2023

RENDERINGS

A501



Appendix A – Proposed Design Continued

Appendix B – Mizpah Cottage Statement of Significance

Mizpah Cottage

75 Dufferin Street, Lunenburg, Nova Scotia, B0J, Canada

Formally Recognized: 1992/02/27



Porch Detail



View From Dufferin and McDonald Street



North West Facade

OTHER NAME(S)

n/a

LINKS AND DOCUMENTS

[Overview of Lunenburg, including architectural tour and town history provided by the Town of Lunenburg](#)

CONSTRUCTION DATE(S)

LISTED ON THE CANADIAN REGISTER: 2009/01/15

STATEMENT OF SIGNIFICANCE

DESCRIPTION OF HISTORIC PLACE

Mizpah Cottage is a large, three storey Victorian house of wooden construction, situated on Dufferin Street in the New Town area of Lunenburg, NS. The house is located at the northwest corner of McDonald Street, on the crest of the hill, giving it further prominence. Shrubbery and large trees shelter the house from the street, and there is a large yard to the southwest and northwest of the house. A carriage shed is located in the rear as well. Municipal designation covers both the building and surrounding land.

HERITAGE VALUE

Mizpah Cottage is valued for its significance as a local landmark and for its connection with the locally prominent Kaulbach family. Records show that Edward Rafuse, a carpenter, built a one-and-a-half storey house and a workshop on this property in 1875. In 1893, the property was sold by the sherriff, and purchased by C. Edwin

Kaulbach for only \$10. It is not clear whether the present house is the Rafuse house, thoroughly renovated, or if it is a replacement building. At the time it was built, the house was visible from a distance, as it sits on the crest of Apple Tree Hill on Dufferin Street, overlooking the fashionable and fast-growing New Town area of Lunenburg. C. Edwin Kaulbach was a well known public figure in Lunenburg. He was the Member of Parliament for Lunenburg County for most of the period from 1878-1904. He was also a successful barrister and an influential businessman. The Kaulbach family had been an important family in local business since the founding of Lunenburg in 1753, and many of the larger homes in the Town belonged to this family.

Mizpah Cottage (named for a Biblical location) derives many of its architectural features from the Queen Anne Revival style. There are several projecting and bracketed bay windows with concave roofs and dentilled eaves. The multi-gabled roof has a variety of chimneys and dormers, giving the house an interesting facade when viewed from any angle. Other well-maintained details include the iron fencing on the Dufferin Street side, the belvedere (widow's watch), and the slate-paved pathways around the house.

Source: Notice of Recommendation to Register as a Town Heritage Property, Heritage designation file 66400-40-26, Town.

CHARACTER-DEFINING ELEMENTS

Elements that help define the characteristics of Mizpah Cottage include its prominent location, demonstration of prosperity through the home's appearance and Victorian architecture, particularly the Queen Anne Revival elements, including:

- location slightly set back from streetline, highly visible on crest of hill in prominent New Town area of Lunenburg;
- original slate front pathways, large back and side yard, and large and striking form, suggesting wealth and prominence of owner;
- all elements derived from Queen Anne Revival style, including multi gabled-roof, presenting differing facades on each street, projecting bracketed bay windows, peaked dormers, contrasting bands of shingle work, and varied window arrangement;
- all elements derived from more general Victorian trends, including details such as concave roofs and dentilled eaves, ornamental verge board, ornamental fretwork and turned posts at main entrance, hip-roofed belvedere at main roof intersection, and iron fancywork;
- all original interior design elements, including fireplace surrounds, woodwork, stained glass windows, notably on main staircase landing, fretwork at window bays, and letter "K" etched into the glass above the main door, denoting the prominence and wealth of the Kaulbach family.

Appendix C – Alteration Guidelines for Municipally Registered Heritage Properties

Alteration Guidelines for Municipally Registered Heritage Properties Town of Lunenburg Approved by Council on October 13, 2020

1.0 Scope

These guidelines apply to all municipally registered heritage properties in the Town of Lunenburg, whether located outside of or inside the Heritage Conservation District.

2.0 Background

The Heritage Property Act allows municipalities to identify and protect structures of heritage significance. The Lunenburg Heritage Advisory Committee, established in March of 1981, has registered sixty-one (61) properties following a request from the owner and investigation by the Heritage Advisory Committee. These properties are located throughout Town, including within the Heritage Conservation District. The adoption of the Heritage Conservation Plan and By-law in 2000 effectively registered all of the buildings within the Heritage Conservation District, so further individual registrations within the Heritage Conservation District are not possible.

For those individually registered properties within the District, both a Heritage Permit and a Certificate of Appropriateness issued under the Heritage Conservation By-law are required for any external alterations.

3.0 Process

All applications to alter a registered heritage property shall be made to the Heritage Officer, who will review each application and determine whether the proposed change is a substantial or non-substantial alteration. If the Heritage Officer is unable to determine whether a proposed change is substantial or non-substantial, the application shall follow the process for a substantial change.

If the proposed changes are determined by the Heritage Officer to be non-substantial, the Heritage Officer will send a letter to the applicant advising that a Heritage Permit is not required.

If the proposed changes are determined to be substantial, a report will be prepared by the Heritage Officer for consideration by the Heritage Advisory Committee and recommendation to Council.

4.0 Substantial and Non-Substantial Alterations

For clarity, both substantial and non-substantial alterations are listed. Any non-substantial alteration must meet the Design Guidelines of the Heritage Conservation District.

The following shall be considered substantial alterations:

- additions, including porches, verandas, entries, stairways and dormers unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;
- addition or removal of windows or window openings unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

* addition or removal of doors or door openings unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

- changes to the openings for doors or windows unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

- change in roof pitch or style (including pitch or style of a dormer) unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

- removal of porches, verandas, entries, stairways, dormers, windows, trim materials of any type, or chimneys unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

- change in style or design of railing or guards on porches or stairs unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

- addition to an existing accessory building or the erection or placement of a new accessory building unless said development is in conformance with the Design Guidelines of the Heritage Conservation District (in cases where the land as well as the main building have been registered as a Municipal Heritage Property);

- addition of utilities structures such as, but not limited to, air conditioning units, kitchen vents and heat pumps unless said development is in conformance with the Design Guidelines of the Heritage Conservation District;

- accessory structures such as, but not limited to, fences, stairways, decks, garden trellises, pergolas, awnings, pavilions, and similar items which are connected or otherwise not connected to the main building unless said development is in conformance with the Design Guidelines of the Heritage Conservation District; and

- re-shingling of roofs where not required for maintenance, including changes in the type of shingle unless said development is in conformance with the Design Guidelines of the Heritage Conservation District.

Notwithstanding anything herein contained above, the following shall be considered substantial alterations:

- any development that does not conform to the Design Guidelines of the Heritage Conservation District By-law;

- any demolition or removal of

- a) more than 10 % of the total usable floor area of all floors including the usable floor areas of any basement and attic; or

- b) any part of a building for which the cumulative sum of all areas of its horizontal dimensions exceeds 25% of the area of the building's existing footprint.

Usable Floor Area means the floor area that has a minimum height clearance of 1.2 m (4 ft.) or higher.

and

- any addition to a building which is greater than 25% of the area of the existing building's footprint either as an addition to the sides of the building or on top such as an additional storey.

For the sake of clarity the following shall be considered non-substantial alterations:

- changes in storm windows from painted wood to aluminum;
- replacements or repairs where no changes are intended;
- use of vinyl window inserts if no other changes taking place;
- replacement of shingles with clapboard with the same exposure, and replacement of clapboard with shingles with the same exposure;
- the erection or placement of signage;
- items which the Heritage Officer considers to be maintenance (ie. re-shingle roof if needed);
- replacement of doors or storm doors with doors which meet the Design Guidelines of the Heritage Conservation District;
- replacement of non-traditional elements with traditional (ie clad concrete steps with wood; shingle a wall now covered in plywood) which meet the Design Guidelines of the Heritage Conservation District;
- addition of glass doors inside wooden storm doors;
- rain barrels and other minor accessory structures; and
- the installation of gutters and downspouts which meet the Design Guidelines of the Heritage Conservation District.

**TOWN OF LUNENBURG ELECTRIC UTILITY
2023/24 BUDGET**

INDEX

<u>ELECTRIC UTILITY</u>	<u>Page #</u>
➤ Operating	1
➤ Capital	8

DRAFT

ELECTRIC UTILITY OPERATING BUDGET							
	ACCOUNT #		DESCRIPTION	2023/24 Budget	2022/23 Budget	2022/23 Projections	2021/22 Actual
			Revenue				
			Operating Revenue				
164,400	07-1-51-1000	2	Domestic Service	\$ 3,143,000	\$ 2,978,600	\$ 2,937,000	\$ 2,951,122
16,000	07-1-51-2000	3	General Service - Small	191,000	175,000	178,000	170,673
(38,200)	07-1-51-2500	3	General Service - Demand	2,166,000	2,204,200	2,025,000	2,136,713
62,800	07-1-51-3000	4	General Service (IND)	1,350,000	1,287,200	1,262,000	1,259,560
9,600	07-1-51-4000	5	Street Lighting	147,000	137,400	137,000	133,531
-	07-1-51-5000		Misc. Electric Light	8,000	8,000	7,500	8,008
-	07-1-51-6000	6	Late Payment Interest	30,000	30,000	32,600	28,965
400	07-1-51-7000	7	Pole Attachment Fees	28,000	27,600	27,600	27,620
4,000	07-1-51-8000	8	69 KV Line Lease	58,000	54,000	57,000	56,511
			Total Operating Revenue	7,121,000	6,902,000	6,663,700	6,772,703
			Non-Operating Revenue				
-	07-1-51-9000		Expired Line Extension Deposits	-	-	-	5,215
13,000	07-1-52-1000	9	Sale of Service - Permits	35,000	22,000	33,600	22,148
2,000	07-1-52-1010	9	Sale of Service - Jobbing & Contract	5,000	3,000	7,600	2,198
5,000	07-1-52-3000		Interest Revenue	10,000	5,000	10,700	4,992
			Total Non-Operating Revenue	50,000	30,000	51,900	34,553
			Total Revenue	\$ 7,171,000	\$ 6,932,000	\$ 6,715,600	\$ 6,807,256
			Expenditures				
			Power Purchases				
434,500	07-2-61-1000	10	Power Cost - NSPI	\$ 5,761,000	\$ 5,326,500	\$ 5,300,800	\$ 5,289,355
			Substations				
			Substations (3)				
400	07-2-62-1100	11	Labour-Utility	25,400	25,000	25,000	23,137
-	07-2-62-1200	12	Repairs & Maintenance	20,000	20,000	10,000	10,964
(15,000)	07-2-62-1300	13	Transformer Testing	-	15,000	-	-
900	07-2-62-1500		Substation Insurance	12,500	11,600	11,900	10,551
				57,900	71,600		44,652
			Operation & Maintenance				
			Superintendence				
10,000	07-2-63-1100	11	Manager/Portion of Super. Salary	125,000	115,000	118,000	108,736
-	07-2-63-1200	14	Telephone/ Cellular/ Internet	4,000	4,000	6,800	3,555
-	07-2-63-1400		Radio Repairs/License	200	200	200	180
			Overhead				
1,100	07-2-63-2100	11	Labour - Utility	73,800	72,700	72,700	77,937
(5,500)	07-2-63-2200		Supplies	-	5,500	-	-
-	07-2-63-2310	15	Vegetation MGMT-Contractor	100,000	100,000	105,200	24,247
-	07-2-63-2600		Contracted Repairs/Flagmen	2,500	2,500	1,800	-
			Poles & Fixtures				
200	07-2-63-3100	11	Labour - Utility	11,800	11,600	11,600	10,923
-	07-2-63-3200		Supplies	3,000	3,000	1,000	-
			Services				
400	07-2-63-4100	11	Labour - Utility	27,400	27,000	27,000	25,880
-	07-2-63-4200		Supplies	6,000	6,000	3,000	4,711
			Streets & Highway Lighting				
400	07-2-63-5100	11	Labour - Utility	24,800	24,400	24,400	24,938
(1,000)	07-2-63-5200		Supplies	-	1,000	-	-
			Maintenance of Building				
1,500	07-2-63-6200		Fuel	6,500	5,000	4,600	2,381
100	07-2-63-6300		Electric	1,100	1,000	1,000	893
-	07-2-63-6310		Water	500	500	400	385
-	07-2-63-6320		Sewer	900	900	900	710
-	07-2-63-6400	16	Repairs & Maintenance	4,000	4,000	2,600	2,116
-	07-2-63-6600	17	Rental- Victoria Road Building	5,000	5,000	5,000	5,000
			Customer Premises Expenses				
10,000	07-2-63-7100		Electrical Inspections	35,000	25,000	35,000	24,186
				431,500	414,300	421,200	316,778
			Transformers				
			Setting and Removing				
-	07-2-64-1100	11	Labour - Utility	2,800	2,800	2,800	2,681
			Maintenance of Transformers				
-	07-2-64-2100	18	Labour - Utility	3,400	3,400	3,400	3,264
-	07-2-64-2150	18	Contracted Repairs	40,000	40,000	10,000	3,843
(2,500)	07-2-64-2200	18	Supplies	-	2,500		-
				46,200	48,700	16,200	9,788

DRAFT

ELECTRIC UTILITY OPERATING BUDGET						
	ACCOUNT #	DESCRIPTION	2023/24 Budget	2022/23 Budget	2022/23 Projections	2021/22 Actual
-		Meters				
-		<u>Setting and Removing Meter</u>				
-	07-2-65-1100 11	Labour - Utility	7,200	7,200	7,200	6,753
-		<u>Testing Meters (Expenses)</u>				
200	07-2-65-2100 11	Labour - Utility	11,400	11,200	11,200	10,526
-		<u>Maintenance of Meters</u>				
-	07-2-65-4200	Supplies	1,000	1,000	1,000	3,062
			19,600	19,400	19,400	20,341
-		<u>General Overhead</u>				
-		<u>Supervision</u>				
600	07-2-66-1100 20	Portion FD Salary	6,700	6,100	6,100	5,900
-		<u>Contracts</u>				
700	07-2-66-2100 20	Portion of Town Office Salaries	20,000	19,300	19,300	18,500
			26,700	25,400	25,400	24,400
-		<u>Accounting</u>				
-		<u>Accounting Supervision</u>				
2,200	07-2-67-1100 20	Portion FD Salary	10,100	7,900	7,900	7,600
-		<u>Revenue Accounting</u>				
4,200	07-2-67-2100 20	Portion of Town Office Salaries	69,500	65,300	65,300	59,400
-		<u>Plant Accounting</u>				
(7,800)	07-2-67-3100 20	Portion of Town Office Salaries	46,700	54,500	54,500	43,200
-		<u>Billing</u>				
(5,000)	07-2-67-4100 20	Portion of Town Office Salaries	46,700	51,700	51,700	48,851
4,000	07-2-67-4200	Supplies	12,000	8,000	11,500	8,050
-		<u>Auditing</u>				
1,000	07-2-67-5100	Audit Fees	7,500	6,500	6,500	6,400
-		<u>Collecting</u>				
1,500	07-2-67-6050 21	Electronic Banking Services	5,500	4,000	5,000	3,935
3,400	07-2-67-6100 20	Portion of Town Office Salaries	20,000	16,600	16,600	14,600
1,300	07-2-67-6200	Postage	14,800	13,500	13,500	13,500
-	07-2-67-6300	Collection Costs (Small Claim Fees)	1,000	1,000	-	-
-		<u>Meter Reading</u>				
(5,000)	07-2-67-7100 11	Labour - Utility	35,000	40,000	32,000	27,386
			268,800	269,000	264,500	232,922
-		<u>General</u>				
-		<u>Supervision</u>				
(18,600)	07-2-68-1100 21	Portion CAO & Clerk Salaries + supports	61,600	80,200	65,000	77,000
(14,400)	07-2-68-1200 22	Council Honorariums	34,900	49,300	49,300	45,778
(1,000)	07-2-68-1300	Meeting Pay	-	1,000	-	-
(2,100)	07-2-68-1400 23	Council Conventions/Training	3,600	5,700	3,000	1,338
-		<u>Professional Services</u>				
(10,000)	07-2-68-2100 24	Engineering	30,000	40,000	3,200	13,655
-	07-2-68-2200	Legal Fees	20,000	20,000	21,500	19,251
4,600	07-2-68-2210 25	Communications	10,000	5,400	5,700	5,282
-	07-2-68-2300	Payroll Administration	1,500	1,500	1,500	1,500
-		<u>Advertising</u>				
-	07-2-68-3100 26	Power Interruptions & Promotions	5,000	5,000	1,000	3,344
-		<u>Uncollectible Bills</u>				
-	07-2-68-4100 27	Provision - Uncollectible Accts.	15,000	15,000	5,000	2,506
-		<u>Rentals, Lights, etc.</u>				
-	07-2-68-5100	Office Rental - Town	10,200	10,200	10,200	10,200
-	07-2-68-5200	Supplies/Printing/Paper	16,000	16,000	16,400	15,447
1,300	07-2-68-5300	Postage	14,800	13,500	13,500	13,500
-	07-2-68-5600 28	Maint & Contract - Computer	40,000	40,000	41,700	33,157
-	07-2-68-5700	Lease - Postage Meter	2,000	2,000	1,200	1,718
-	07-2-68-5800	Service Charges - Photocopier	4,000	4,000	4,000	4,037
-		<u>General Insurance</u>				
1,500	07-2-68-6600 29	Insurance	16,500	15,000	15,000	15,964
-		<u>Employee Welfare</u>				
14,400	07-2-68-9200 30	Employment Benefits	68,300	53,900	53,900	56,784
-	07-2-68-9300	Clothing/Safety	1,000	1,000	200	-
-	07-2-68-9400	Other Employee Benefits	4,800	4,800	4,800	1,067
-	07-2-68-9450	Meeting - Travel/Expense	1,500	1,500	1,200	664
-	07-2-68-9500 31	Training and Memberships	10,000	10,000	10,000	10,241
-	07-2-68-9600	Meeting Supplies	3,000	3,000	2,700	1,421
			373,700	398,000	330,000	333,854

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ELECTRIC UTILITY OPERATING BUDGET						
	ACCOUNT #	DESCRIPTION	2023/24 Budget	2022/23 Budget	2022/23 Projections	2021/22 Actual
-		<u>Office Supplies/Expenses</u>				
-	07-2-69-1100	Telephone - Town Hall	2,000	2,000	2,000	2,045
-	07-2-69-1200	Fax Machine	500	500	400	397
-	07-2-69-1350 33	Small Capital - Office Equipment	15,000	15,000	12,200	5,748
-		<u>Regulatory Comm. Expense</u>				
(1,000)	07-2-69-3100 34	BD. of Public Utilities	8,000	9,000	7,300	7,456
20,000	07-2-69-3200 35	Consultant Fees	40,000	20,000	49,000	10,545
			65,500	46,500	70,900	26,191
		Department Total	\$ 7,050,900	\$ 6,619,400	\$ 6,495,300	\$ 6,298,281
-		<u>Depreciation</u>				
8,000	07-2-70-2100 36	Depreciation Expense	215,000	207,000	215,000	214,592
-		<u>Interest on Consumer Deposits</u>				
-	07-2-70-3100	Accrued Interest Expense	500	500	200	173
-		<u>Interest on Long-Term Debt</u>				
(500)	07-2-70-4100 37	Borrowing Interest	4,600	5,100	5,100	21,002
-		<u>Debt Repayment</u>				
-	07-2-70-5100 37	Long-Term Debt Principal	100,000	100,000	100,000	100,000
		Department Total	\$ 320,100	\$ 312,600	\$ 320,300	\$ 335,767
-		<u>Transfers to Other Funds</u>				
-	07-2-80-1000	<u>Capital Reserves</u>				
-	07-2-80-1200 38	Trf. To (from) Capital Reserve	-	-	-	173,000
-		Department Total	\$ -	\$ -	\$ -	\$ 173,000
-						
(200,000)	07-2-90-0100	Surplus (Deficit)	\$ (200,000)	\$ -	\$ (100,000)	\$ 208
-		Section Total				
		Total Expenditures	\$ 7,171,000	\$ 6,932,000	\$ 6,715,600	\$ 6,807,256
		Budget Change	\$ 239,000			
			3.4%			

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NOTES TO ELECTRIC UTILITY BUDGET

- Effective February 2, 2023 the Utility’s kWh consumption rate for power purchases is \$0.09946 + FAM rider. The Utility’s current peak ratchet monthly demand cost for kVa is \$133,321. The Utility’s current demand rate is \$13.108. The Utility receives a \$0.32 per kVa discount in demand costs for owning its own substation (see table below).

	2023/24 Budget	2022/23 Actual	2021/22 Actual	2020/21 Actual
Purchases (kWh)	40,451,116	40,541,899	42,299,239	42,056,463
Sales (kWh)	39,024,038	39,024,038	40,780,742	40,498,244
Purchases as % Sales	104%	104%	104%	104%
Billed Demand (kVa) monthly	10,171	9,947	9,163	9,632
Annual Demand Cost	\$1,599,858	\$1,455,487	\$1,361,735	\$1,395,685
Substation credit				
Monthly	\$3,255	\$3,183	\$2,932	\$3,082
Annually	\$39,060	\$38,196	\$35,184	\$36,984

kWh: Kilowatt hour - the basic measurement of power per hour.

kVa: Kilovolt amperes – the basic unit for measurement of apparent power. It is the greatest amount of power, averaged over a 15 minute period, supplied to the Town during the billing period of December, January or February. It is adjusted annually and billed at highest kVa for following year.

Date	Time	Peak (kVa)
January 16, 2012	8:30 am	8,673
January 24, 2013	8:30 am	9,429
January 2, 2014	5:30 pm	9,982
February 11, 2015	9:00 am	9,520
January 13, 2016	10:00 am	9,800
December 16, 2016	5:45 pm	9,947
January 2, 2018	6:45 pm	9,338
February 27, 2019	8:00 am	9,842
February 21, 2020	8:15 am	9,632
February 12, 2021	9:30 am	9,163
January 12, 2022	9:00 am	9,947
February 4, 2023*	6:00 pm	10,171

The Town’s Electric Utility has approximately 2,200 customers in various rate classifications as noted below.

*Historical low temperatures.

2. **#07-1-51-1000 Domestic Service**

Budget based on projected sales and existing rates. There are approximately 1,800 customers billed under the Domestic Service rate. There are 20 customers billed under the Domestic Service Time-of-Day rate. There are 13 customers billed under the Self Generation Offset (SGO) rate.

3. **#07-1-51-2000 & 07-1-51-2500 General Service**

Budget based on projected sales and existing rates. There are approximately 250 Small General customers and approximately 180 General Service customers billed under General Service.

4. **#07-1-51-3000 Industrial**

Budget based on projected sales and existing rates. The Town has 3 customers billed under this rate.

5. #07-1-51-4000 Street Lighting

Budget based on projected sales and existing rates. The Town has approximately 60 customers billed under this rate.

6. #07-1-51-6000 Late Payment Interest

Interest revenue is based on 1.5% per month on outstanding balances.

7. #07-1-51-7000 Pole Attachment Fees

An agreement with Maritime Tel & Tel was reached in 1987. Ratio of pole ownership to be shared at 60% Utility, 40% Bell Aliant (formerly MT&T). At that time there were 592 poles (60% Utility = 355 and 40% Aliant = 237). Aliant has not maintained their 40% ownership and pole attachment fees are charged for the difference. Currently there are approximately 1,128 poles. Aliant is charged for the number of poles over the Utility's original 355 (773 poles).

This revenue budget includes attachment fees of \$14.15 per pole for Eastlink Cable (1,169 poles = \$16,541) and Bell Aliant (773 poles = \$10,938).

8. #07-1-51-8000 69 KV Line Lease

Lease agreement with High Liner Foods Inc. to lease our 69 KV line for power supplied by Nova Scotia Power Inc. The lease renewed in October 2020.

9. #07-1-52-1000 & #07-1-52-1010 Sale of Services

Includes wiring permit fees, electrical inspections and any other work performed by the Electric Utility staff for external customers.

10. #07-2-61-1000 Power Purchased

This is budgeted based on the Utility's power purchase requirements.

11. Labour Utility

The Town of Lunenburg has a service agreement with Nova Scotia Power for the operations and maintenance of the Town's Electric Utility infrastructure. The arrangement was effective June 1, 2018 for a renewable five-year term and will provide a wide range of technical expertise to ensure a reliable and sustainable electricity supply. All on site work is now carried out by Nova Scotia Power personnel. The cost of this service arrangement is allocated within the various cost centers of the Utility.

12. #07-2-62-1200 Repairs & Maintenance Substations

\$20,000 has been included in this budget for routine repairs and maintenance.

13. #07-2-62-1300 Transformer Testing

While the substation transformers require periodic testing these costs are now included in the substation repairs and maintenance budget. There are three transformers at the substation, a dual voltage main and a backup for each voltage.

14. #07-2-63-1200 Telephone/Cellular/Internet

Includes the basic rates, cellular phones for the Corporate Services staff who manage the Utility and internet lines in the Town Office/Electric Department.

15. 07-2-63-2310 Line Vegetation Management Contractor

It is important that the vegetation be managed to maintain power during weather events. \$100,000 has been included for contracted tree trimming and removal.

16. #07-2-63-6400 Maintenance of Building

Includes estimate for annual repairs.

17. #07-2-63-6600 Rental Victoria Road Building

Space is required at the Victoria Road exhibition building for storage of large spools of wire, Christmas decorations, etc.

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18. #07-2-64-2100 to 2200 Maintenance of Transformers

Budget estimate for maintenance including any required testing for PCB's of older transformers. All line transformers must be tested for PCBs by 2025.

19. #07-2-65-3100 Testing Meters - Third Party Charges

Included in the fees for the service contract.

20. #07-2-66-1100/2100, 67-1100/2100/3100/4100/6100 and 68-1100 Portion of Salaries

Salaries for all Corporate Services Administration and Finance Staff are shared with other departments based on actual time spent working for them. These allocations are reviewed annually to ensure their continued relevance and accuracy. Allocations include General Government Services, Transportation Services, Community Development, Water and Electric Utilities.

21. #07-2-67-6050 Electronic Banking Services

This cost is for a portion of the lease of two debit machines located in the Finance Office and one third of all banking fees. This is deemed reasonable based on monthly electric billings vs quarterly billings for other Town Utilities.

22. #07-2-68-1200 Honorariums

Honorariums for members of Council for their oversight of Electric Utility. Allocated at 25%.

23. #07-2-68-1400 Conventions/Training – Council

Conferences, training and professional development for the Mayor and Councillors. Total budget \$14,200.

N.B. - \$7,100 will be allocated to the Electric and Water Utility budgets, approximately 50%.

24. #07-2-68-2100 Engineering

The budget for Engineering Consulting fees.

25. #07-2-68-2210 Communications

Budget for a portion of the Communications Manager's salary and related supplies.

26. #07-2-68-3100 Advertising

Notices re Power Interruptions	\$4,500
Miscellaneous	500
	<u>\$5,000</u>

27. #07-2-68-4100 Uncollectible Accounts

A valuation of aged receivables is performed annually and an allowance for uncollectible accounts is established as per national accounting guidelines.

28. #07-2-68-5600 Maintenance/License - Computers/Printers

Includes maintenance and licensing of computers as follows:

PC's and Network Server	\$32,000
Accounting Software License	8,000
	<u>\$40,000</u>

The accounting software license fee is an all-inclusive annual fee for program updates and improvements and IT support for the software. Other departments pay the Electric Utility for a portion of this license fee.

29. #07-2-68-6600 General & Liability Insurance

Insurance costs are budgeted at estimated rates for the upcoming year.

30. #07-2-68-9200 Employment Benefits

The Utility reimburses the Town for a portion of the Employment Benefit costs for the Town office staff. This account also includes an accrual for retirement benefits based on the Town’s personnel policy.

31. #07-2-68-9500 Training and Memberships

Includes the following items:

Various staff training, seminars & conferences, as required	\$8,000
Memberships	<u>2,000</u>
	<u>\$10,000</u>

33. #07-2-69-1350 Small Capital – Office Equipment

This has been transferred from the Capital Budget to Operations based on the Town’s Tangible Capital Asset threshold of \$2,500. Includes replacement computers as required (generally replaced every 3 years).

34. #07-2-69-3100 Board of Public Utilities

Budgeted based on previous year actuals.

35. #07-2-69-3200 Consultant Fees

This is for work by consultants in regard to general Electric Utility consulting. Any rate consulting work will be covered by this account.

36. #07-2-70-2100 Depreciation Expense

All capital items are depreciated at an average rate of 3.5%. as per NSURB.

37. #07-2-70-4100 Interest Expense & Long Term Debt Principal #07-2-70-5100

The Electric Utility has a 20-year debenture for the substation upgrade with Municipal Finance Corporation with an original average interest rate 4.319%. This debenture was refinanced in fiscal 21-22 for the remaining five years and now has an average interest rate of 0.7%.

Payment	Original Loan	Principal	Interest	End Balance
17 of 20	\$2,000,000	\$100,000	\$4,605	\$300,000

38. #07-2-80-1200 Reserve for Future Capital Expenditures

Capital Reserve Fund – March 31, 2022	
Substation Upgrades	\$242,000
Surplus equipment proceeds	138,200
Depreciation funds reserve*	469,800
Total Capital Reserve Fund	\$850,000

* Depreciation funds are used to fund current capital expenditures as per NSURB Regulations.

If there are surplus funds at year end a reserve transfer may be considered.

TOWN OF LUNENBURG CAPITAL BUDGET - ELECTRIC UTILITY

DESCRIPTION	23/24	24/25	25/26	26/27	27/28
	Year 1	Year 2	Year 3	Year 4	Year 5
Meters	\$10,000	\$10,000	\$10,000	\$10,000	\$10,000
Overhead Conductors	\$210,000	\$220,000	\$230,000	\$240,000	\$250,000
Poles & Fixtures	\$85,000	\$95,000	\$105,000	\$115,000	\$125,000
Services	\$45,000	\$55,000	\$65,000	\$75,000	\$85,000
Transformers - Line	\$130,000	\$140,000	\$150,000	\$160,000	\$170,000
Street Lighting	\$10,000	\$10,000	\$10,000	\$10,000	\$10,000
81W-322 feeder upgrade (5.333 Kv to 15kV standards)			\$1,700,000		
81W-321 feeder upgrade (5.333 Kv to 15kV standards)		\$1,000,000			
Substation design/re-design		\$200,000			
Substation Yard Site prep (overburden removal and fill, crushed rock)			\$200,000		
New HV Switches 69kv (3)			\$200,000		
Substation Ground grid			\$100,000		
Substation Buss work (5.33 kv to 12.47kv conversion accomodation)			\$100,000		
Substation Foundation Structures			\$200,000		
Substation Fence			\$100,000		
Substation Oil Containment				\$300,000	
Substation Overhead Buss Work				\$250,000	
New 20MVA 69kv - 12.47 kv Power transformer for Sub 81W				\$500,000	\$1,000,000
Substation Control building					\$200,000
TOTAL	\$490,000	\$1,730,000	\$3,170,000	\$1,660,000	\$1,850,000
Fiscal 2023/24 Capital Funding					
Electric Utility Deprecation Reserve	\$490,000				

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ELECTRIC UTILITY CAPITAL BUDGET DESCRIPTIONS

Meters

In 2017 the Utility began the first of a multi-year Smart Meter conversion program. Approximately 300 meters were swapped. Additional Smart Meter conversions are currently on hold while other capital priorities are completed. The 2023/24 budget for meters allows for the purchase of any replacement meters that are required during the fiscal year.

Overhead Conductors

This item is for yearly replacement, as well as new and emergency repairs.

Poles & Fixtures

This item is for yearly replacement, as well as new and emergency repairs.

Services

For replacement and new installation of overhead service wires and fixtures (both residential and commercial).

Transformers – Line/Installation

This item is for yearly replacement, as well as new and emergency repairs. As part of our service agreement NSP purchases and maintains the transformer inventory for the utility.

Street Lighting

In fiscal 2022/23 all street lights were converted to LED. The 2023/24 budget for street lights allows for the installation of any potential new requests.

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Subject: NSPI Flow Through Rate Application

From: Lisa Dagley, Finance Director

Reviewed by: Jamie Doyle, CAO

Date: July 11, 2023



Recommendation

That Council approve the submission of an application to the Nova Scotia Utility and Review Board (NSUARB) for its approval of a per kWh increase to offset power purchase cost increases associated with the February 2, 2023 and January 1, 2024 NSPI Municipal Rate increases.

Alternatives

Not submit a flow through application, however this is not a financially viable option for the Town's Electric Utility.

Background

The NSUARB has approved an increase for 2023 and 2024 for NSPI's Municipal Rate. The NSUARB has approved formulas that must be completed to determine the follow through rates for our municipal utility. Staff require Council's approval for a submission of a flow through application before the NSPI rate increases can be passed on to Lunenburg Electric Utility customers.

Discussion

As noted above an application for this change must be made to the NSUARB and requires the approval of Council to proceed.

Financial

The approved calculation for NSPI increases is based on the cost of power purchase which is approximately 80% of the Electric Utility's rate revenue. If there is no flow through application there will be additional costs to the utility in both 2023 and 2024.

Communications

It is anticipated the revised rates will be for power consumed after July 1 and customers will see the rate change on their August bills. Once the revised rates are approved by NSUARB Finance and Communication staff will develop communications for the public regarding the changes.

Attachments

Schedule A – NSPI rates

Schedule B – TOL Flow Through Formulas

RATE SCHEDULES

	units	2022	2023	Variance	% Variance
Municipal Tariff					
Demand Charge (Ratcheted)	\$/kVA	12.445	13.428	0.983	7.9%
Transformer Ownership Credit	¢/kVA	-32.000	-32.000	0.000	0.0%
Energy Charges					
Base cost of fuel	¢/kWh	6.663	6.213	-0.450	-6.8%
Non-fuel	¢/kWh	2.871	3.098	0.227	7.9%
Subtotal		9.534	9.311	-0.223	-2.3%
FAM AA	¢/kWh	0.000	0.000	0.000	0.0%
FAM BA	¢/kWh	0.000	0.000	0.000	0.0%
Subtotal		0.000	0.000	0.000	0.0%
DSM PCR	¢/kWh	0.000	0.635	0.635	0.0%
Total	¢/kWh	9.534	9.945	0.411	4.3%

SCHEDULE "A"

LUNENBURG ELECTRIC UTILITY

SCHEDULE OF RATES FOR ELECTRIC SUPPLY & SERVICES

(Effective for services rendered on and after January 1, 2022)

RATES

All bills are due and payable when rendered. All unpaid accounts are subject to overdue interest charges in accordance with Regulation 5.2 - "Payment of bills, overdue interest charges, and returned payment charge".

In this Schedule, the word "Town" means the Town of Lunenburg.

"Nova Scotia Power Inc. (NSPI) Municipal Rate Class Increases"

In order to recover increased costs due to NSPI increases and upon notice by the Lunenburg Electric Utility (the "Utility") to the Nova Scotia Utility and Review Board, (the "Board"), the Board may amend the Rates for Domestic Service, Small General, General, Large General, Domestic Service Time-of-Day (Optional), and Street and Yard Lighting based on the following formula, without the necessity of a public hearing.

1) $A/B=C$

2) $C \times D = E$

A = Forecasted power purchase cost from NSPI for the test year;

B = Forecasted Electric Rate Revenue from the above classes for the test year;

C = Percent, expressed as 00.00;

D = NSPI approved increase percent, expressed as 00.00;

E = Average percentage change required to the Lunenburg Electric Utility's rates to recover its purchased power cost.

The Lunenburg Electric Utility, when submitting a request for a change in its Schedule of Rates for Electric Supply and Services, shall provide a comprehensive summary of the forecasted purchase and sales amounts and compare the results with the actual purchase and sales amounts for the previous two years along with an analysis of the difference in the amounts.

Nova Scotia Power Inc. ("NSPI") Municipal Rate Class Adjustments to
Demand Side Management and Fuel Adjustment Mechanism

In order to recover Demand Side Management ("DSM") and Fuel Adjustment Mechanism ("FAM") adjustments due to Nova Scotia Power Inc. ("NSPI") approved DSM and FAM adjustments and upon notice by the Council of the Town of Lunenburg to the Nova Scotia Utility and Review Board (the "Board"), the Board may amend the kWh Rates for Domestic Service, Small General, General, Large General, Domestic Service Time-of-Day (Optional) and Street and Yard Lighting based on the following, without the necessity of a public hearing.

For Domestic Service, Small General, General, and Large General, the following formula will apply:

$$A+B=C$$

$$C \times D/100 = E$$

$$E/F * 100 = G$$

A = NSPI DSM Rate to Municipal Class (cents per kWh)

B = NSPI FAM Rate to Municipal Class (cents per kWh)

C = Net NSPI adjustment (cents per kWh)

D = kWh purchases from NSPI for previous complete fiscal year

E = Total cost adjustment on annual purchases from NSPI

F = kWh sold by Municipal Electric Utility for previous complete fiscal year

G = Adjustment to Municipal electric Consumption Rates as a result of DSM and FAM charges (cents per kWh)

For Street and Yard Lighting Categories the following formula will apply:

$$A/B=C$$

$$C+D=E$$

$$E \times B = F$$

A = Current monthly street light charge

B = NSPI rate schedule monthly kWh per month for each street light category

C = Current street light charge per kWh

D = kWh adjustment (in cents per kWh) due to FAM or DSM

E = Adjusted street light charge per kWh

F = Adjusted monthly street light rate

For Domestic Time of Use Rates the following will apply:

On peak charges are twice the Regular Domestic tail block rate;
Shoulder charges are equal to the Regular Domestic tail block rate;
The off-peak charges are set using the following formula:

$$A+B=C$$

$$C \times D = E$$

A = Current kWh purchase price from NSPI

B = kWh adjustment (in cents per kWh) due to FAM or DSM

C = adjusted kWh purchase price from NSPI

D = 4% loss factor

Subject: Budget Increase Request: WTP Membrane Replacement
From: Tyson Joyce, Director of Public Works/Town Engineer
Reviewed by: Jamie Doyle, CAO
Date: July 11, 2023



Recommendation

- 1) That Council approve an additional \$304,000 for the Water Treatment Plant (WTP) Membrane Replacement 2023/24 Water Utility Capital Project for a total project amount of \$659,000 (including net HST); and that this additional amount be funded by the Town's Membrane Reserves and Water Utility Depreciation funds.
- 2) That Council award Pall Water \$564,132.51 (plus HST) to provide and install the membrane replacement at the Town of Lunenburg's Water Treatment Plant (WTP).

Alternatives

That Council increase the budget for the Water Treatment Plant (WTP) Membrane Replacement 2023/24 Water Utility Capital Project to \$375,000 (including net HST) to allow the replacement of membranes of two skids with funding from Membrane Reserves and Water Utility Depreciation funds, with the remainder of the replacement work to be included in the 2024/25 Water Utility Capital Budget.

Background

The WTP was commissioned in late 2009, and the membrane modules on each of the existing four membrane filtration skids have been in service since. These modules typically have a 10-year service life; thus, they currently need to be replaced.

Membranes are an important component of the water treatment process and act as a filter (0.5 micron) to remove impurities such as organics, metals, etc. There are four sets of skids at the WTP, each with 21 membrane modules, with generally any two sets of the skids are in operation at one time for water treatment.

Due to many factors (quality of the water source, industry leading manufacturer, demand for water, proactive and attentive maintenance, etc.), the Town has been able to prolong the lifespan of the initial supply of membranes. While there is no immediate issue with the condition of the membranes currently in use, due to items such as the supply chain and availability of the installation crew, it is

important that we are proactive in the replacement to ensure there is no impact to a core service for the Town.

Discussion

In planning for the membrane replacement at the WTP, Staff have considered several options.

One of these is whether the membrane replacement should be performed in a single year or over a two-year period. Staff recommends the single year replacement based on the overall savings (single mobilization for the installation crew, transport of materials, etc.), the certainty provided by purchasing the modules all at current pricing and the consistency it provides the operating system.

The quantity of membranes within each skid has also been considered. The current structure of 21 membrane modules has generally been sufficient for water production, but there is capacity within the skids to add to this and assist with water treatment at times of higher demand (there is space for 26 modules in each skid). Increasing our system to 23 membrane modules per skid has been recommended to increase the water treatment capabilities for the existing high demands and into the future.

With water supply being a key service for the Town, the importance of the quality of the membranes has been a large consideration. Between the Consultant and ourselves, the decision has been made to stick with the same manufacturer as the existing membranes due to their industry reputation, quality of product and keeping consistency with our current operating processes. This means that we are restricted to a sole supplier for the new membranes.

Strategic Plan Relevance

Capital Construction Projects are part of the Servicing and Facilities Strategic Direction of the Town’s Comprehensive Community Plan; a town where the long-term infrastructure needs of the community are met through strategic management and incremental, well-phased upgrades that are financially sustainable.

Financial

The revised budget based on the recent supply and installation quotation received is as follows:

Item	Cost including Net HST
Engineering	\$9,000
Membrane Module supply/O&M updates	\$495,000
Related Parts & Fittings	\$45,000
Installation Crew (1 Eng, 2 Techs)	\$50,000
Contingency (10%)	\$60,000
Revised Budget	\$659,000

There was \$155,000 included in the 2022/23 Capital Budget for the engineering and two skid replacements and that combined with the \$200,000 included in the 2022/23 Capital Budget for the additional two skids had the membrane replacement budget at \$355,000.

To carry out the replacement of all four skids in 2023/24 as recommended, the budget needs to be increased by \$304,000 to \$659,000. The funding for the revised budget will be sourced from the Membrane Reserve and the Depreciation Reserve.

Subject: Tender Award: Tannery Road Sidewalk Construction
From: Tyson Joyce, Director of Public Works/ Town Engineer
Reviewed by: Jamie Doyle, CAO
Date: July 5, 2023



Recommendation

That Council defer the 2023/24 Green Street Sidewalk Renewal Capital Project and direct staff to include the project in the 2024/25 Capital Budget.

That Council approve an additional \$300,000 for the 2023/24 for the Tannery Road Sidewalk Construction Capital Project for a total project amount of \$571,000 (including HST); and that this additional amount be funded by the Town's Surplus Asset Reinvestment Fund.

That Council award Dexter Construction \$440,760 (plus HST) to fulfill the Tannery Road Sidewalk Construction Tender.

Alternatives

- Defer the award of the Tannery Road Sidewalk Construction Tender to allow Staff to revise the budget for inclusion in the 2024/25 Town Capital Budget. This would also allow the Green Street Sidewalk Renewal Tender to proceed in the 2023/24 year as planned.
- Defer the award of the Tannery Road Sidewalk Construction Tender to allow Public Works to perform a further benefit analysis (estimated costs, opportunity cost, subcontracted items, etc.) for executing the Tannery Road Sidewalk Construction work within our own Department.

Background

This Project is intended to improve to and add to the Town's active transportation network and improve pedestrian safety along Tannery Road from the intersection of Knickle & Tannery up to the parking area past #97 Tannery. The scope of work includes the following:

- Construction of 277m of new sidewalk, including removals, earthworks, forming, placement and finishing of concrete.
- Roadway, driveway and landscaping reinstatements.
- Surface drainage, accessibility and traffic improvements.

The amount approved in the 2023/24 Capital Budget for the Tannery Road Sidewalk Construction is \$271,000 including net HST. This budget includes engineering and the civil work for the sidewalk. Land acquisition required by the Town for the new sidewalk is a separate item within the Capital Budget.

Discussion

The Tender for the civil work associated with the Tannery Road Sidewalk Construction closed on June 16.

Tender Results (all tender awards over \$100,000 must be approved by Council)

Company	Tender Price (excluding HST)
Dexter Construction	\$440,760

For years, the lack of a safe passage for pedestrians has been an issue the Town has tried to address. The improvement in safety for residents and tourists along Tannery Road, school children and their families accessing Bluenose Academy or recreation and workers to commercial establishments make this Project a high priority for the Town.

Public Works previously performed a feasibility analysis of performing the Tannery Road Sidewalk work in house and presented this to Council on November 24, 2020. At that time, the recommendation from that Staff was not to perform in house due to the draw on Public Works resources and the institutional knowledge it would take away from other aspects of the Department. Staff's current recommendations align with this and consider that performing the sidewalk construction work ourselves could be a significant burden to Public Works & Engineering and impact the level of service we could provide to the Town.

Strategic Plan Relevance

Capital Construction Projects are part of the Servicing and Facilities Strategic Direction of the Town's Comprehensive Community Plan; a town where the long-term infrastructure needs of the community are met through strategic management and incremental, well-phased upgrades that are financially sustainable.

Financial

The amount approved in the 2023/24 Capital Budget for the Tannery Road Sidewalk Construction Project is \$271,000 with funding based on \$145,000 from Deed Transfer Taxes and \$126,000 from Debt.

The revised budget based on the Civil Work Tendering received is as follows:

Item	Cost including Net HST
Engineering	\$36,500
Tender for Civil Work	\$460,000
Contingency (15%)	\$74,500
Revised Budget	\$571,000

If this Project is to proceed, it will require further budget funding of \$300,000 (including net HST).

Looking at the 2023/24 Capital Budget for sidewalk projects, between the new Tannery Road Sidewalk (\$271,000) and the Green Street Sidewalk Renewal (\$325,000), we have a combined value of \$596,000 (including net HST). Staff's recommendation is to combine these budgets for 2023/24 to deliver the Tannery Road sidewalk this year and defer the Green St Sidewalk Renewal construction work for inclusion in the 2024/25 Capital Budget.

The revised Tannery Road Sidewalk Construction budget for 2023/24 will be \$571,000 to be funded by \$145,000 Deed Transfer Taxes, \$126,000 from Debt and \$300,000 from the Surplus Asset Reinvestment fund.

The land acquisition required for the sidewalk construction is being performed concurrently. The amount included in the 2023/24 Capital Budget for Land Acquisition for the Sidewalk was \$115,000. Due to several factors (cost of property rising since initial assessment was performed, more land to be purchased for sidewalk footprint than initially planned, etc.). It is anticipated that this budget will need to be increased to an estimated value of \$200,000 to cover all the costs related to this item. Staff will present these costs to Council in due course once they are finalized.

Subject: Watermain Loop Harbourview/Morash Tender Results
From: Tyson Joyce, Director of Public Works/ Town Engineer
Reviewed by: Jamie Doyle, CAO
Date: June 26, 2023



Recommendation

That Council defer the award of the 2023/24 Harbourview/Morash Watermain Capital Project, and direct staff revise the project's budget value for inclusion in the 2024/25 Water Utility Capital Budget.

Alternatives

That Council approve an additional \$245,200 for the 2023/24 Harbourview/Morash Watermain Capital Project; and award \$294,645 (plus HST) to Dexter Construction for the fulfillment of the Harbourview/Morash Watermain Capital Project, and that funding from the Water Utility's Depreciation Reserves; and that the additional funding for this project be funded by the Water Utility's Depreciation Reserves.

Background

This Project is intended to improve the performance of the Town's water system by removing an existing dead end at the top of Harbourview Drive. The scope of work includes the following:

- Supply and install 135m of 150mm diameter watermain to connect existing lines on Harbourview Drive and Morash Lane;
- Roadway and landscaping reinstatements.

The amount approved in the 2023/24 Water Utility Capital Budget for the Watermain Loop is \$120,000 including net HST. This budget includes engineering, easement acquisition (the Town has undertaken acquiring a land easement adjacent to 267 & 268 Harbourview Drive for the new watermain to run within) and the civil work.

Discussion

The Tender for the civil work associated with the Watermain Loop between Harbourview Drive and Morash Lane closed on May 23.

Tender Results (all tender awards over \$100,000 must be approved by Council)

Company	Tender Price (excluding HST)
Dexter Construction	\$294,645

There was a second Tender submission however that Tender was non-compliant and cannot be accepted by the Town.

Whilst this Project is an opportunity for improvement for the Town's Water System, Staff believe its level of priority is lower than several other Water Utility Projects scheduled for this 2023/24 season, and with the increase in budget required, our recommendation is to defer this work.

Strategic Plan Relevance

Capital Construction Projects are part of the Servicing and Facilities Strategic Direction of the Town's Comprehensive Community Plan; a town where the long-term infrastructure needs of the community are met through strategic management and incremental, well-phased upgrades that are financially sustainable.

Financial

The amount approved in the 2023/24 Capital Budget for the Watermain Loop Harbourview/Morash Project is \$120,000 funded with Water Utility Depreciation Funds.

The revised budget based on the Civil Work Tendering received is as follows:

Item	Cost including Net HST
Engineering	\$23,000
Legal for Acquiring Easement	\$1,000
Tender for Civil Work	\$308,000
Contingency	\$33,200
Revised Budget	\$365,200

If this Project were to proceed, it would require further funding from the Water Utility Depreciation Funds. The budgeted amount would need to be increased by \$245,200 (including net HST).

While the Water Utility's Depreciation Fund is financially healthy at this point, there are other Capital Projects for 2023/24 that have potential to also tender over budget. Consideration needs to be given to prioritizing Projects to ensure our resources are best utilized within the budget. For 2023/24, Staff would recommend this be classed as a lower priority item in comparison to several others.

Subject: Public Works Capital Status Update
From: Tyson Joyce, Director of Public Works/ Town Engineer
Reviewed by: Jamie Doyle, CAO
Date: July 11, 2023



Recommendation

No decision of Council is requested. This report is for information.

Background

The Town's capital budget from Fiscal Year 2023-24 was approved by Council on December 13, 2022. This Report is intended as a progress update for Council.

Discussion

1. Town General

- **Tree Planting** – Planning is under way to identify suitable locations within the Town. An opportunity for Residents to express interest in receiving a tree in the right of way in front of their property has also been released by Staff. Aiming to plant fifty (50) new trees in Fall of 2023.

2. Public Works

- **Tannery Road Sidewalk** – This item is included under a separate Staff Report to Council.
- **Victoria Road Resurfacing** – RFP for design and developing tender documents closed on June 23 and Staff are evaluating these proposals. Planning for construction in the Fall.
- **Flashing Beacon Lights** – Rapid flashing beacon lights have gone through commissioning. We are continuing to monitor and welcome feedback from pedestrians.
- **Downtown Traffic Improvements** – Public Works have commenced line painting works on King St and Lincoln St.

3. Wastewater Utility

- **WWTP Upgrade and Expansion** – Staff are working on the RFP for the Design and Engineering Services to ensure it captures all the commitments related to the Grants the Town has received. The previously performed Pre-Design and Geotechnical Reports will be included in this package.
- **Tannery Road Culvert Assessment** – An RFP for a condition assessment of the storm culvert from Victoria to Tannery is planned to be released in July. This assessment is

likely to be performed in the Fall, and funds for the repair/replacement work is in future year's Capital Budgets.

4. Water Utility

- **Lighting for Process & Chemical Room** – The new LED lighting has been installed and is in operation at the WTP.
- **Harbourview/Morash Water Loop** – This item is included under a separate Staff Report to Council.
- **Repair Spillway** – The Consultant has submitted the details for the Watercourse Alteration Permit with NSE. The Construction Tender closes on July 11 and work needs to be performed in the Summer as required by the NSE Permit.
- **Solar Array at WTP** – Design to be completed by mid July and ready to Tender shortly following this for the ground mounted system. Small delay for the geotechnical investigation to be completed.
- **Victoria Road Watermain Renewal** – this work is combined with the scope discussed in the Public Works section.

Strategic Plan Relevance

Capital Construction Projects are part of the Servicing and Facilities Strategic Direction of the Town's Comprehensive Community Plan; a town where the long-term infrastructure needs of the community are met through strategic management and incremental, well-phased upgrades that are financially sustainable.

Financial

As noted above.

Subject: Potable Water Quality Test Result for January – March 2023
From: Tyson Joyce, Director of Public Works/ Town Engineer
Reviewed by: Jamie Doyle, CAO
Date: July 11, 2023



Recommendation

This is an information report. No decision of Council is required.

Background

The Nova Scotia Environment and Climate Change (NSECC) Approval documents to operate for the Water Treatment Plant (WTP) require that certain tests be carried out to verify the quality of treated potable water. There are also Federal testing standards that must be followed. Routine testing is conducted in the Town of Lunenburg (TOL) lab at the WTP, and independently by accredited laboratories to determine compliance levels with both the Provincial and Federal standards. If any test result exceeds the standards, then explanations are provided. This report provides a monthly summary of these results.

The timing of this document follows from the testing schedule at the WTP, which is performed on a quarterly cycle. The next Council report will be prepared at the end of the next quarter.

At the end of each year an annual report is also prepared for the WTP and filed with the Provincial and Federal governments.

Discussion

1.0 Water Quality

The Approval to Operate document requires the following water quality sampling:

- Weekly total coliform and fecal coliform tests for water entering the distribution system and various water distribution system sample points (maximum none/100 mL).
- Monthly tests for aluminum.
- Quarterly tests for parameters for corrosion control:
 - Lead (maximum 0.005 mg/L).
 - Manganese (maximum 0.12 mg/L).
- Quarterly tests for disinfection by-products:
 - Trihalomethanes (maximum 0.1 mg/L).
 - Haloacetic acids (maximum 0.08 mg/L).

- Turbidity at each filtration unit must be between 0.1-0.3 NTU measured continuously.
- Chlorine residual must be between 0.2-4.0 mg/L measured continuously.
- The Province can also request virus testing for *Giardia* and *Cryptosporidium* at any time. Treatment efficiencies are required to meet:
 - 3-log reduction (99.9%) of *Giardia* and *Cryptosporidium*.
 - 4-log reduction (99.9%) of viruses.
- Treatment must also limit corrosion of water distribution and/or plumbing systems and reduce odors.

Federal Guidelines for Monitoring Public Drinking Water Supplies require annual testing of raw water and treated water for compliance. A more in-depth assessment is required every five years.

Results

From January to March 2023, all weekly, monthly, and quarterly regulatory testing and in-house daily testing complied with the Approval requirements.

The following table summarizes the sampling results for this quarter, including parameters identified in the Approval to Operate. This table reports periodic turbidity and chlorine residual testing, but not continuous testing. Turbidity and chlorine residual are continuously monitored and recorded on the WTP Supervisory Control and Data Acquisition (SCADA) system. There are safeguards in place that automatically raise alarms for the operator and shut down equipment when the required conditions are not met.

Parameter Tested	Approval Limit	Exceeded Approval Limit
Lead	<0.005 mg/L	None
Manganese	<0.12 mg/L	None
Trihalomethanes	<0.1 mg/L	None
Haloacetic Acids	<0.08 mg/L	None
Turbidity	<0.1 NTU 99% of the time, and not to exceed 0.3 NTU	None
Chlorine Residual	0.2-4.0 mg/L	None
Total Coliforms	None/100 mL	None
Fecal Coliforms	None/100 mL	None
Comment: None		

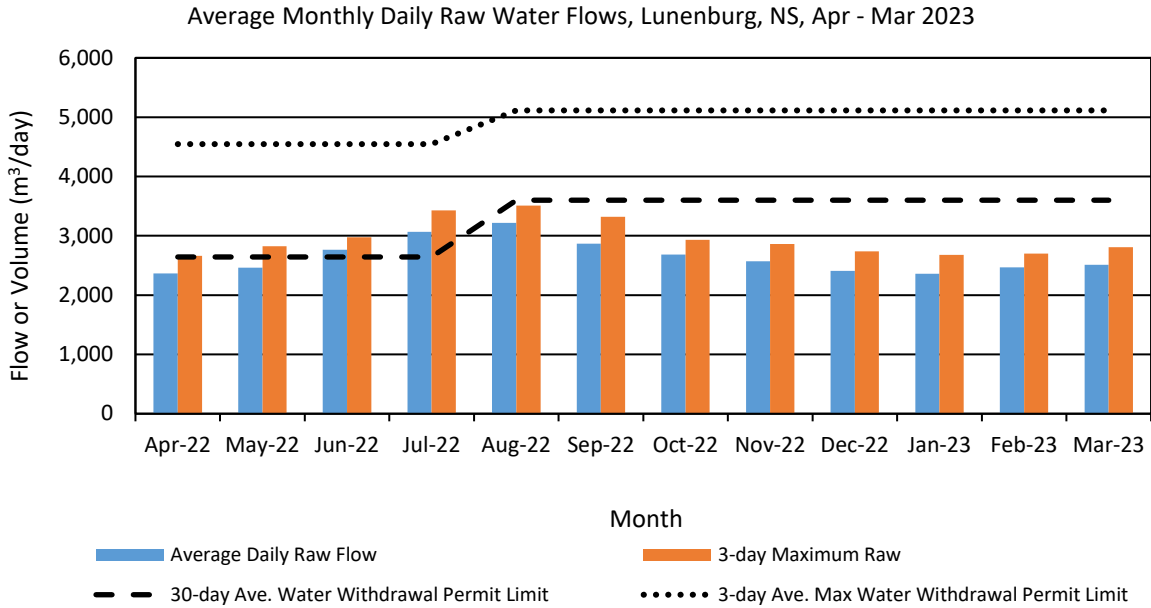
2.0 Raw and Treated Water Flows

The WTP withdraws water from Dares Lake and can withdraw water at a rate outlined in the Approval to Withdraw Water. The approved rates of withdrawal as of July 31, 2022 are as follows:

- Average rate of withdrawal: 3,600,000 L/day (averaged over 30 days).
- Maximum rate of withdrawal: 5,114,000 L/day (averaged over 3 days).

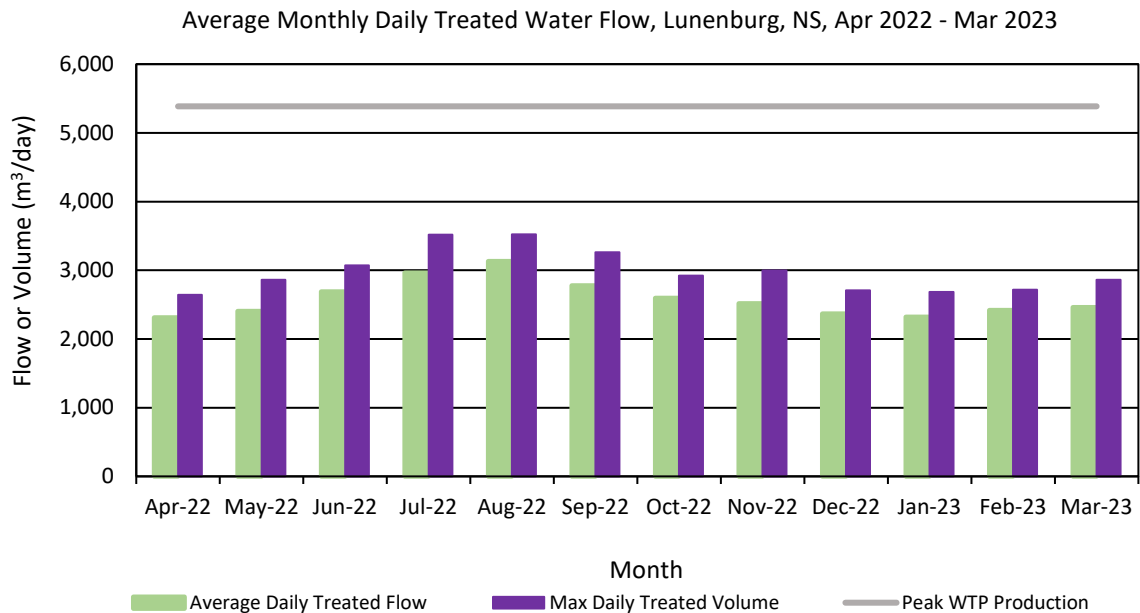
Average Monthly and Daily Flow of Raw Water:

The following graph shows the historical monthly flows and the 3-day maximum flows for the raw water entering the WTP over the past year, inclusive of this quarter:



Average Monthly and Daily Flow of Treated Water:

The following graph shows the historical monthly flows and the maximum daily flow for the treated water from the WTP over the past year, inclusive of this quarter:



Results

The average daily raw water flow did not exceed the 30-day average Water Withdrawal Permit Limit during this quarter.

The 3-day maximum average withdrawal limit was not exceeded this quarter.

The treated water flow did not exceed the peak production rate within this quarter.

3.0 Water Main Breaks and Repairs:

There were two leaks reported in this quarter, which are detailed in the following table:

Month	Date	Street	Address or Block	Problem or Cause
January	3	Green Street	Hirtle Road connection	Service had become detached (existing clamps released) from 8" main on Green. Temporarily re-attached with replacement saddle. Permanent connection completed on January 9th.
January	27	McKenzie Street	59	Service to #59 hooked during sanitary lateral work for #62. Repaired by Public Works.

4.0 Complaints

The complaints reported this quarter is detailed in the following table:

Month	Date	Street	Address or Block	Problem or Cause
February	8	Green Street	131	Water returned to a resident's basement following a repair by Public Works that provided a short-term fix. The area has since been monitored for further issues.
February	23	Hall Street	71	Air in lines for about a 3-hour period. Issue cleared up on its own.
March	13	Hall Street	71	Air in lines. Issue cleared up on its own. No other issues observed in the system.

Strategic Plan Relevance

Strategic Planning Goal #3. A. (a.) of the Town's Strategic Plan is to "Champion opportunities for our community's health and well-being by ... Protecting our natural environment ... Continue to provide solid waste management, sewage treatment and high-quality water to all of our residents".

Relevant Legislation/Approvals

The TOL water system operates according to two Nova Scotia Environment Approvals:

- Approval for Operation – Water Treatment Facility (Approval # 2010-071794-02)
- Approval to Withdraw Water – Dares Lake (Approval # 2011-079411-01)

Financial

Funds are included in the WTP operating budget to pay for these water quality tests.

Subject: Wastewater Quality Test Results: January to March 2023
From: Director of Public Works/ Town Engineer
Reviewed by: Jamie Doyle, CAO
Date: July 11, 2023



Recommendation

This is an information report. No decision of Council is required.

Background

The Nova Scotia Environment “Approval” documents to operate for the Wastewater Treatment Plant (Class II wastewater treatment facility) require that certain tests be carried out to verify the quality of treated wastewater at the plant. There are also Federal testing standards that must also be followed. Routine testing is conducted both in the Town of Lunenburg (TOL) labs at the WWTP and independently by accredited laboratories to determine compliance levels with both the Provincial and Federal standards. If any test result exceeds the standards, then explanations are provided. This report provides a monthly and quarterly summary of these results.

The timing of this document follows from the testing schedule at the WWTP, which is performed on a quarterly cycle. The next Council report will be prepared at the end of the next quarter.

At the end of each year an annual report is also prepared for the treatment plant and filed with the Provincial and Federal governments.

Discussion

The Lunenburg WWTP Approval to Operate issued by Nova Scotia Environment and Climate Change (NSECC) in 2020 expired May 18, 2023. A renewal application was submitted in August 2022 and is currently being processed by NSECC. The facility is currently operating under the previous Approval until the new Approval is issued. The requirements of this Approval, as well as the Federal Requirements are summarized in the following tables:

Provincial Approval 2012-082710-02 Testing Requirements

Treated wastewater must be tested a minimum of five times per month (once per week) for:
<ul style="list-style-type: none">• Carbonaceous Biochemical Oxygen Demand (CBOD, maximum 20 mg/L)• Suspended Solids (SS, maximum 20 mg/L); and• <i>E. coli</i> (maximum 1000 counts/100 mL).
<ul style="list-style-type: none">• pH is tested daily (five times per week). Acceptable pH is in the range 6.0 - 9.0.
<ul style="list-style-type: none">• The facility is considered to be in “compliance with the treated effluent discharge criteria if the average value calculated for the averaging period meets the specified limits. All average residuals shall be the arithmetic mean with the exception of <i>E. coli</i>, which shall be the geometric mean.” The averaging period is defined as quarterly.

Federal Wastewater Systems Effluent Regulations Testing Requirements

Treated wastewater must be tested every two weeks for:
<ul style="list-style-type: none">• Carbonaceous Biochemical Oxygen Demand (CBOD maximum 25 mg/L)• Total Suspended Solids (TSS maximum 25 mg/L)• Un-ionized ammonia (maximum 1.25 mg/L) and• pH (between 5.5 - 9.5)
<ul style="list-style-type: none">• Acute Lethality Tests are mandated to be conducted quarterly. In this test, rainbow trout are used to determine if they can survive in wastewater effluent over a 96-hour period. According to the regulations, if four consecutive Acute Lethality Tests pass when taken quarterly (over a year), then the testing for acute lethality can be reduced to once per year. The WWTP is currently on the reduced program of one lethality test per year.

Results

The required number of tests per month for CBOD, SS, *E. coli* and pH were carried out, and all pH tests were within the required ranges.

Quarterly Averages:

Quarterly averages for this reporting period are summarized in the following table. As per the Approval, an arithmetic mean is used for CBOD and SS, and a geometric mean is used for *E. coli*.

Quarter	Quarterly Average		
	CBOD (20 mg/L)	SS (20 mg/L)	<i>E. coli</i> (1000 counts/100 mL)
Qtr. 1 2023	3.7	4.6	9

All CBOD, TSS and *E. coli* test results met the Provincial and Federal requirements this quarter.

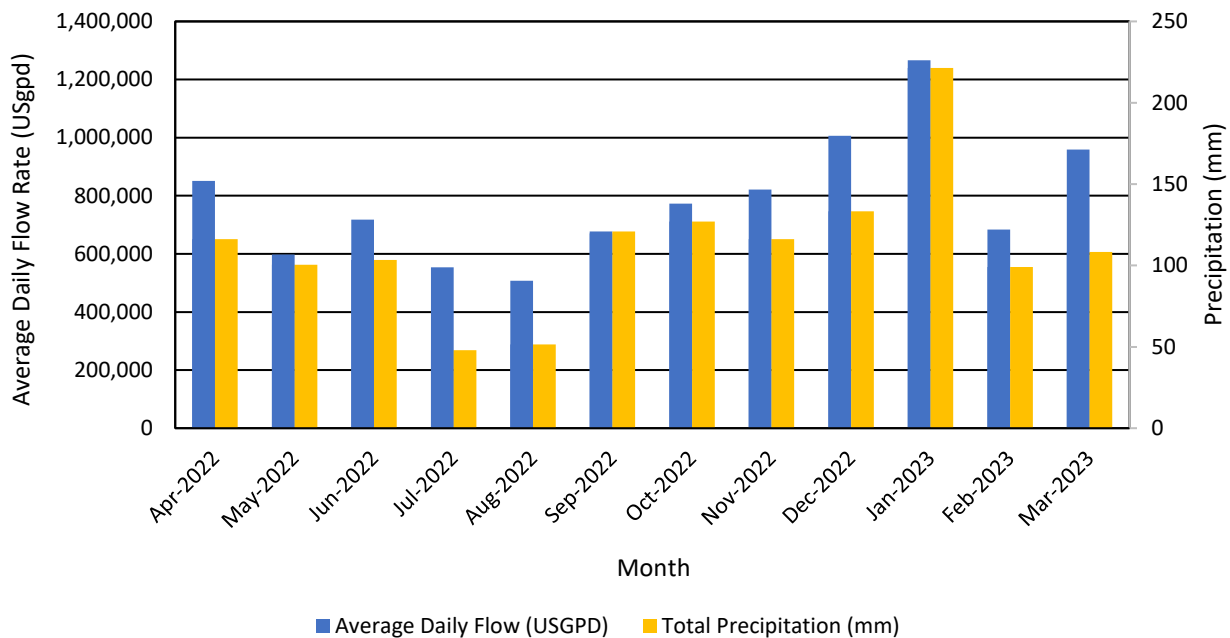
Lethality Testing:

According to the *Wastewater Systems Effluent Regulations* we are now only required to test for acute lethality yearly because the last five consecutive samples passed the test requirements. The next acute lethality test will be performed in November 2023.

Average Monthly Daily Flow of Wastewater with Total Monthly Precipitation:

The following graph shows the monthly flows for the wastewater treatment plant over the past year, along with the total monthly precipitation. Total precipitation data was taken from Western Head, Nova Scotia.

Average Daily Flow of Treated Wastewater, Lunenburg, NS,
Apr 2022 – Mar 2023



Sewer Breaks and Repairs:

The forcemain leaving Brook St. Lift Station broke inside the wetwell on February 21, 2023. With a broken forcemain, the lift station could not be used, and had to be bypassed. Initial assessment of the issue to determine how to repair it, and required regulatory reporting, were both carried out immediately. The wetwell had to be isolated and pumped down to work safely inside it. The forcemain was repaired on March 2, 2023, and the lift station was returned to normal service.

Complaints:

A complaint was issued on January 24, 2023, regarding a strong fuel odour observed at several locations including a manhole at the intersection of King Street and Montague Street. The odour cleared up the following day without remedial action.

Strategic Plan Relevance

Strategic Planning Goal #3. A. (a.) of the Town's Strategic Plan is to "Champion opportunities for our community's health and well-being by ... Protecting our natural environment ... Continue to provide solid waste management, sewage treatment and high-quality water to all of our residents".

Financial

Funds are included in the Wastewater Treatment Plant operating budget to pay for these effluent quality tests.