



Notice: Council meetings are held in person at Town Hall. The public can attend meetings in person or view meetings through the Zoom livestream. Recordings of all meetings are available on the Town’s website. To livestream this meeting starting at 6 pm, use this Zoom link: <https://us06web.zoom.us/j/88956545878>

1. CALL TO ORDER

2. LAND ACKNOWLEDGEMENT

This meeting takes place in the traditional and ancestral territory of the Mi’kmaq people. We are all Treaty people.

3. APPROVAL OF AGENDA

3.1 October 10, 2023 Council Meeting Agenda

Draft motion: That Council approve the agenda for the October 10, 2023 meeting as presented.

4. APPROVAL OF MINUTES

4.1 September 26, 2023 Regular Meeting of Council Minutes

Draft motion: That Council approve the September 26, 2023 meeting minutes as presented.

5. PUBLIC INPUT AND QUESTIONS – 20 MINUTES

- Each person is limited to 3 minutes
- Each person must state their name
- Questions or comments are directed to the Chair

6. PRESENTATIONS

7. CORRESPONDENCE

8. PUBLIC HEARINGS AND APPEALS

9. BUSINESS ARISING AND UNFINISHED BUSINESS

10. NEW BUSINESS

10.1 Noise Exemption Request: Fireworks – Nov. 4, 2023

Draft motion: That Council approve a Noise Bylaw exemption to permit the use of fireworks on November 4, 2023 from 7:30 p.m. to 8 p.m. at the Lunenburg Fire Hall parking lot.

10.2 Town Hall Exterior Budget Increase

Draft motion: That Council approve increasing the Town Hall Exterior Restoration 2023/24 Capital Budget by \$10,000 (including net HST) for developing detailed specifications and masonry repair drawings to include in the project's Tender Package.

10.3 Public Works Capital Status Update: End of September 2023 – *information report*

10.4 Town General Operating and Capital Year-End

Draft motion: That Council approve allocating \$74,826.99 from the 2022/23 operating budget to the 2022/23 capital budget and that \$50,000 from the 2022/23 operating budget be allocated for an operating reserve transfer.

Draft motion: That Council approve the capital financing for fiscal 2022/23 in the amount of \$2,546,697.54, as outlined in Schedule 2.

10.5 Electric Utility Operating and Capital Year-End

Draft motion: That Council approve that, for the fiscal year ended March 31, 2023, the Electric Utility fund the Capital Expenditures of \$1,107,802 with \$393,319 in reserves, \$459,275 in depreciation funds and \$255,209 in customer contributions.

10.6 Water Utility Operating and Capital Year-End

Draft motion: That Council approve, for the fiscal year ended March 31, 2023, transferring \$38,500 from the Water Utility to the Water Utility Land Reserve.

Draft motion: That Council approve, for the fiscal year ended March 31, 2023, the Water Utility provide a dividend of \$25,000 to the Town General fund.

10.7 Revised Draft Old Town Lunenburg Heritage Conservation District Plan and By-law – 1st reading

Draft motion: That Council approve first reading of the revised draft Old Town Lunenburg Heritage Conservation District Plan and By-law (Attachment A) and give notice for a November 28, 2023 Public Hearing.

10.8 Amendment to MPS and LUB to Delete Architectural Control Areas – 1st reading

Draft motion: That Council approve first reading of proposed amendments to the Municipal Planning Strategy and Land Use By-law to delete the Architectural Control Areas and Schedule "F" Heritage Conservation District and Architectural Control Area Map.

10.9 Committees Policy: Repeal and Replace – Notice

Draft motion: That Council give notice to repeal the Committees of Council Policy and replace it with the new Committees Policy as presented.

10.10 Repeal of Policies – Notice

Draft motion: That Council give notice to repeal the following Town of Lunenburg policies:

1. Audit Procurement
2. Billings for the LDFD Non Fire Emergency Duties
3. Capital Contributions Electric Light
4. Cascade Systems Policy S C B A Air Refill
5. Development Agreements
6. Electric Light Utility Collection Procedure Policy
7. Emergency Spills Response
8. Fire Extinguisher Training
9. Information Technology Use
10. Loan of Town Equipment and Use of Town Labour by Outside Organizations
11. Motor Vehicle Evaluation and Replacement
12. Planning Applications
13. Public Works Department Risk Management
14. Recreation Dept Risk Management Strategy
15. Water Testing Procedure
16. Water Utility Collection Procedure Policy Statement
17. Complaints Process Policy
18. Installation and Verification of Water Electric Meters and Billing
19. Parking Meter Fees

11. NOTICES OF MOTION/INFORMATION REQUESTS

12. IN CAMERA

13. ADJOURNMENT

TOWN OF LUNENBURG
COUNCIL MEETING MINUTES

September 26, 2023 | 6 pm

Lunenburg Town Hall – Council Chamber and virtually through Zoom



Present	Mayor Jamie Myra, Deputy Mayor Peter Mosher, Councillors Jenni Birtles, Stephen Ernst, Ed Halverson and Susan Sanford
Absent	Councillor Melissa Duggan
Also present	Jamie Doyle, CAO Lisa Dagley, Director of Finance Michael Best, Communications Manager Lisa Kendall, Municipal Engineer Arthur MacDonald, Director of Community Development Kayla Byrne, Municipal Clerk
Call to Order	The Mayor called the meeting to order at 6 p.m.
Land acknowledgment	The Mayor recognized Lunenburg’s location on the unceded territory of the Mi’kmaq people.
Approval of Agenda	Moved and seconded that Council approve the agenda for the September 26, 2023, meeting as presented. <p style="text-align: right;">Motion carried unanimously</p>
Approval of Minutes	Moved and seconded that Council approve the September 12, 2023 meeting minutes as presented. <p style="text-align: right;">Motion carried unanimously</p>
Public input for Council meetings	Alison Strachan inquired about a zoning change that occurred when the 2021 Land Use Bylaw was approved. Robert Young inquired about annual CPI increases for councillors.
Net Zero Atlantic – NS Offshore Wind Resource	Christie Chaplin, a representative of Net Zero Atlantic, presented information on capacity building for the sustainable and inclusive development of Nova Scotia’s offshore Wind Resources. Councillors asked clarifying questions.

Occupational Health and Safety Policy Amendments

Moved and seconded that Council repeal sub-policy 46 (A) Joint Occupational Health and Safety Policy and replace this policy with Terms of Reference to be approved by the Chief Administrative Officer;

That Council repeal the following Joint Occupational Health and Safety sub-policies:

- 46 (B) Tag and Lockout Procedural Policy
- 46 (C) Chain Fall Hoist Inspection Procedural Policy
- 46 (D) Material Safety Data Sheets Policy
- 46 (E) Table Saw Work Procedure for Use Without a Guard
- 46 (F) Confined Space Procedure
- 46 (G) Public Works Department General Safe Work Procedures; and

That Council amend the Joint Occupational Health and Safety Policy as presented.

Motion carried unanimously

LUB amendment – Upper Hall Street rezoning

Moved and seconded that Council give first reading to the proposed amendments to the Land Use Bylaw, as presented in Attachment E, to allow for the rezoning of Upper Hall Street (PID 60726403) to Institutional (INS) Use Zone; and schedule a public hearing for a regular meeting of Council.

Motion carried unanimously

LUB amendment – off-site signage

Moved and seconded that Council give first reading to the proposed amendments to the Land Use Bylaw, as presented in Attachment D, to allow for the erection of off-site ground signage for landlocked businesses; and schedule a public hearing for a regular meeting of Council.

Motion carried unanimously

Permits

Council received an information report on Community Development permits.

Community Grants Policy Amendment

Moved and seconded that Council direct staff to amend the Community Grants Program Policy to include a criteria section specifically for students who live in the Town of Lunenburg who require additional funding for recreational or cultural opportunities at a provincial or national level and that \$2,000 from the total annual Community Grants Fund be used solely for student applicants who meet these criteria.

Motion carried unanimously

Lunenburg RV Park and Campground Benefits Moved and seconded that Council direct the CAO to request detailed financial statements from the Lunenburg Board of Trade regarding any data relating to the financial and community benefits that the Lunenburg RV Park and Campground provides to the community.

Motion carried unanimously

In camera Moved and seconded that Council move in camera at 6:54 p.m. to discuss agenda item 12.1 Personnel matter, as per the Municipal Government Act.

Motion carried unanimously

Recess Before discussing any in camera items, the Mayor called a recess at 6:54 p.m.

Revert to open session: Committee Appointments Council reverted to open session at 7:50 p.m. and made the following motions:

Moved and seconded that Council appoint Philip Mitchell to the Heritage Advisory Committee starting immediately for a two-year term.

Motion carried unanimously

Moved and seconded that Council appoint Irma Da Sie, Kush Pathak and Alex Greek to the Planning Advisory Committee starting immediately for a two-year term.

Motion carried unanimously

Moved and seconded that Council appoint Daniel Steele and Gale Fullerton to the Audit Committee starting immediately for a two-year term.

Motion carried unanimously

Adjournment There being no further business, the September 26, 2023 Council meeting adjourned at 7:51 p.m.

The minutes were read and approved.

From: [Darren Romkey](#)
To: [Kayla Byrne](#)
Subject: Fire works
Date: September 22, 2023 11:00:45 AM

CAUTION: THIS IS AN EXTERNAL MAIL

Hi Kayla

We are celebrating Guy Fawkes day on Nov 4th. (Guy Fawkes day is actually Nov 5th but the 4th is a Saturday)

We are celebrating this in memory of one of our active members who suddenly passed away unexpectedly in October 2021

He was from England.

We also have an active member who celebrates their holiday

Part of the celebration is a huge bon fire. In lieu of this we would like to put on a small fireworks display as we did last year.

We plan to set them off in the back corner of the fire hall parking lot Nov 4th between 730pm and 8pm

They should only last about 10 minutes

Of course there will be several fire fighters on hand for safety.

Can you please add this request on a council agenda for approval?

If you need anything else please let me know

I do plan on attending the council meeting

Thanks

Darren



Virus-free www.avg.com

Subject: Town Hall Exterior Budget Increase
From: Lisa Kendall, Municipal Engineer/Project Manager
Reviewed by: Jamie Doyle, CAO
Date: September 20, 2023



Recommendation

That Council approve increasing the Town Hall Exterior Restoration 2023/24 Capital Budget by \$10,000 (including net HST) for developing detailed specifications and masonry repair drawings to include in the project's Tender Package.

Alternatives

To not approve the budget increase. However, this option would not provide sufficient detail to bidders and will leave many repair/reconstruction decisions up to the contractor. This could be a more costly option overall, or add risk to the quality of the repairs.

Background

Fishburn Sheridan was awarded the contract for developing the Town Hall exterior restoration package in March of 2022. The scope of work of the original contract included the following: complete an exterior building condition assessment (non-destructive), develop detailed measured drawings for exterior work, develop a detailed scope of work and tender documents, and prepare cost estimates. Fishburn Sheridan completed the exterior Building Condition Assessment of Town Hall on October 24, 2022. The original cost of Fishburn Sheridan's contract was \$81,319 plus HST.

Discussion

On March 28, 2023, Council approved a budget increase for destructive testing, to better understand the extent of structural deterioration. The results from the destructive testing have revealed that significant subsurface deterioration is occurring at all elevations. A detailed outline of masonry units/elements to be rebuilt or replaced at all elevations should be developed to ensure a wholistic rejuvenation approach which limits disruption or damage to surrounding masonry. Properly supporting masonry outside the scope of repair will be crucial to preserving the heritage elements of the masonry walls.

Old Town Lunenburg's Town Hall was registered as a municipal heritage property in 1996 because of its role as a landmark building and a vital part of Old Town's streetscape and institutional area. Town Hall's brick is essential to its heritage value. It increases Town Hall's landmark status because it stands out amongst Old Town's wooden buildings. Council must approve any substantial changes to a character-

defining element of a municipal heritage building, including Town Hall's brick exterior. A thorough analysis of the brickwork will help ensure the conservation of this character-defining element, simplifying or potentially eliminating the need for additional heritage review.

Based on the information gathered during the destructive testing, the deliverables as described in the RFP are not sufficient for a project of this size or complexity. The level of masonry deterioration requires greater effort in the development of details and drawings to ensure the heritage characteristics and various masonry details are preserved and appropriately rebuilt. The request for the cost increase is now necessary to develop a detailed specification for the project and phasing recommendations in place of the Scope of Work, and for the additional masonry repair drawings in greater detail, that was not foreseen when the original RFP was issued.

Strategic Plan Relevance

Capital Construction Projects are part of the Servicing and Facilities Strategic Direction of the Town's Comprehensive Community Plan; a town where the long-term infrastructure needs of the community are met through strategic management and incremental, well-phased upgrades that are financially sustainable.

Financial

In the 2022/23 budget \$95,000 was included for this project. As noted, this budget was increased on March 28, 2023 to \$98,415 and carried over to fiscal 2023/24. If approved the overall budget will now be \$108,415. The additional \$10,000 will be funded as a withdrawal from the Deed Transfer Tax Reserve.

Subject: Public Works Capital Status Update: End of September 2023
From: Tyson Joyce, Director of Public Works/Town Engineer
Reviewed by: Jamie Doyle, CAO
Date: September 29, 2023



Recommendation

No decision of Council is requested. This report is for information.

Background

The Town's Capital Budget from Fiscal Year 2023-24 was approved by Council on December 13, 2022. This Report is intended as a progress update for Council.

Discussion

1. Town General

- **Tree Planting** – RFP has been awarded, with supply and planting of forty nine (49) new trees scheduled for during November 2023.

2. Public Works

- **Tannery Road Sidewalk** – Land acquisition item is ongoing and needs to be completed to allow construction to commence.
- **Victoria Road Resurfacing** – Tender was released on September 28 (closing on October 12) to replace section of watermain in Victoria Rd and perform resurfacing in the section from Green Street towards Hall Street. This work is planned for the Fall of 2023.
- **Downtown Traffic Improvements** – RFP has been released for Consultant's structural assessment and definition of reinstatement scope for portion of Duke St extension impacted by the incident. Design of new permanent bollards at the Montague end are also part of this scope.
- **Retaining Wall at Townsend St** – Tender is out for the repair works to the retaining wall behind Town Hall, closing on October 5. Planned for this work to occur in the Fall of 2023.

3. Wastewater Utility

- **WWTP Upgrade and Expansion** – Staff are scheduled to release the RFP for the Design and Engineering Services on October 4. It took time to ensure it captures all the commitments related to the Grants the Town has received. The previously performed Pre-Design and Geotechnical Reports shall be included in this package as references.

- **Tannery Road Culvert Assessment** – The initial site investigation and flow analysis work has commenced, and we expect the full Assessment to be completed before the end of the year.

4. Water Utility

- **Membrane Replacement at WTP** – Scheduled to perform the membrane replacement in late October and early November to upgrade the system.
- **Victoria Road Watermain Renewal** – this work is combined with the scope discussed in the Public Works section.

Strategic Plan Relevance

Capital Construction Projects are part of the Servicing and Facilities Strategic Direction of the Town's Comprehensive Community Plan; a town where the long-term infrastructure needs of the community are met through strategic management and incremental, well-phased upgrades that are financially sustainable.

Financial

As noted above.

Subject: Town General Operating and Capital Year-End

Prepared by: Lisa Dagley, Finance Director

Reviewed by: Jamie Doyle, CAO

Date: October 10, 2023



Recommendations

That Council approve allocating \$74,826.99 from the 2022/23 operating budget to the 2022/23 capital budget and that \$50,000 from the 2022/23 operating budget be allocated for an operating reserve transfer.

That Council approve the capital financing for fiscal 2022/23 in the amount of \$2,546,697.54, as outlined in Schedule 2.

Alternatives

- Deny the request.
- Modify the request.

Background

Finance staff have completed the Town's year-end and our auditors have completed their audit field work. The Town's draft financial statements have been completed and an Audit Committee meeting will be held the last week in October.

Discussion

For the fiscal year ended March 31, 2023 the Town had a surplus after budgeted reserve transfers of \$127,216 and as a result staff are recommending some additional reserve transfers.

To reduce the borrowing requirement for some smaller capital projects staff are recommending \$74,827 be allocated to Capital from Operating.

In addition, staff are recommending \$50,000 be transferred to the Town's General Operating Reserve.

After the additional reserve transfer and capital funding the Town will have a modest surplus of \$2,389 for the year. (Schedule 1)

There were \$2,546,698 of capital projects completed in fiscal 2022/23. The funding for those projects is outlined in Schedule 2. Grants and other non-municipal sources of funding totals \$1,071,472.57 or 42%. The 2022/23 Capital Budget included just over \$1M in capital borrowing however only \$603,917.40 is required. Council is asked to approve the final proposed funding as there are changes to the budgeted funding which have been incorporated into the draft financial statements.

The year end balances for both the Operating and Capital Reserves are included as schedules to this report.

Strategic Plan Relevance

Servicing and Facilities: Direction to ensure efficient infrastructure, and that municipal facilities are properly managed and maintained for future use.

Financial

As outlined above.

Attachments

Schedule 1 – Draft Statement of Financial Activities

Schedule 2 – Capital Funding

Schedule 3 – Operating Reserve Statement of Financial Activities

Schedule 4 – Capital Reserve Statement of Financial Activities

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TOWN OF LUNENBURG
GENERAL SECTION
STATEMENT OF OPERATIONS
YEAR ENDED MARCH 31, 2023

	2023		Variance
	Budget	Actual	
REVENUE			
Taxes	\$ 7,298,400	\$ 7,489,808	\$ (191,408)
Grants in lieu of taxes	284,500	287,261	(2,761)
Sales of services	454,900	537,435	(82,535)
Other revenue from own sources	392,400	441,046	(48,646)
Unconditional transfers from other governments	70,100	73,480	(3,380)
Conditional transfers from Federal and Provincial governments and agencies	1,800	2,290	(490)
Conditional transfers from other local governments	195,400	204,169	(8,769)
Other transfers	76,200	68,789	7,411
	8,773,700	9,104,278	(330,578)
EXPENDITURE			
General government services	774,000	713,449	60,551
Protective services	1,847,300	1,798,880	48,420
Transportation services	1,168,300	1,153,622	14,678
Environmental health services	1,523,500	1,437,673	85,827
Public Health services	53,600	27,636	25,964
Environmental development services	612,700	723,084	(110,384)
Recreational and cultural services	854,600	857,879	(3,279)
Fiscal services	1,939,700	2,389,666	(449,966)
	8,773,700	9,101,889	(328,189)
EXCESS OF EXPENDITURE OVER REVENUE	-	2,389	(2,389)
Accumulated Surplus, Beginning of Year		2,893	
Transfer of Surplus to Operating Reserve		(2,893)	
SURPLUS, END OF YEAR		\$ 2,389	

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TOWN OF LUNENBURG
GENERAL SECTION
SCHEDULES TO STATEMENT OF OPERATIONS
YEAR ENDED MARCH 31, 2023

2023

1. Taxes

Assessable property	
Residential	\$ 3,771,485
Commercial	1,596,001
Resource	7,912

5,375,398

Business property	
Based on Revenue (Aliant)	16,863

16,863

Other	
Sewer annual charge	1,529,017
Deed Transfer tax	568,530

2,097,547

\$ 7,489,808

2. Grants in lieu of taxes

Provincial government (DNR)	\$ 237,182
Property of supported institutions (TIR)	1,664
Sewer	43,396
Fire Protection (Museum)	5,019

\$ 287,261

3. Sales of services

Parking meters	\$ 129,421
Transportation services	62,507
Miscellaneous	27,401

219,329

Recreational services	
Admissions	29,412
Rentals and concessions	215,677
Rentals - School Board	32,559
Grants	40,000
Sundry	458

318,106

\$ 537,435

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SUPPLEMENTARY FINANCIAL INFORMATION
GENERAL SECTION
SCHEDULES TO STATEMENT OF OPERATIONS
YEAR ENDED MARCH 31, 2023

	2023
4. Other revenues from own sources	
Licenses and permits	\$ 14,106
Fines	7,457
Rentals	318,073
Interest on investments	48,578
Interest on taxes	47,559
Insurance Settlements	-
Miscellaneous including donations	5,273
	<hr/>
	\$ 441,046
5. Unconditional transfers from other governments	
HST Offset Grant	\$ 23,365
Equalization Grant	50,000
Farm Acreage	115
	<hr/>
	\$ 73,480
6. Conditional transfers from Federal and Provincial Government and Agencies	
Federal government	
Canada Day Grant	\$790
Mentorship Program Funding	-
Safe Restart Funds	-
Provincial governments and agencies	
Communities, Culture, Tourism and Heritage	500
Active Transportation Strategic Plan Grant	-
Emergency Measures Organization	1,000
	<hr/>
	\$ 2,290
7. Conditional transfers from other local governments	
Municipal Fire District 1 and 2 Commission	
Fire protection reimbursements	\$ 204,169
SSRSB Election Costs	-
	<hr/>
	204,169
8. OTHER TRANSFERS	
Prior Years Surplus	\$ 2,893
Transfer from Operating , Water & Capital Reserves	65,896
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	\$ 68,789

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TOWN OF LUNENBURG
GENERAL SECTION
SCHEDULES TO STATEMENT OF OPERATIONS
YEAR ENDED MARCH 31, 2023

	2023
9. General government services	
Legislative	
Mayor	
Stipend	\$ 9,623
Councillors	
Stipend	31,019
Travel	534
Other legislative services	31,621
	72,797
General administrative	
Salaries and benefits	253,266
Office buildings	78,662
Legal and other professional services	103,572
Financial management	33,446
Interest on Capital Loan	-
Tax rebates or exemptions (low income)	34,500
Tax exemptions (Section 71 MGA)	37,021
Transfer to Assessment Services	47,243
Valuation allowance uncollectible taxes and miscellaneous receivables	-
Other general administrative services	17,194
	604,904
Other general government	
Election costs	-
Insurance	8,999
Grants to organizations and individuals	19,356
Other general services	7,393
	35,748
	\$ 713,449
10. Protective services	
Police Protection	
RCMP	\$ 952,627
By-Law Enforcement	
Contracted Services	-
Legal	5,672
Supplies and expense	-
Transfer to Correction Service	41,550
	47,222

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TOWN OF LUNENBURG
GENERAL SECTION
SCHEDULES TO STATEMENT OF OPERATIONS
YEAR ENDED MARCH 31, 2023

	2023
10. Protective services (cont'd)	
Fire protection	
Fire fighting force	126,566
Water supply and hydrants	330,336
Training	10,425
Fire stations and buildings	94,777
Fire fighting equipment	133,143
Other	34,492
	<hr/> 729,739
Emergency Measures Organization	10,315
Other	
Building Inspector and other	58,977
	<hr/> \$ 1,798,880
11. Transportation services	
Common services	
Administrative	\$ 229,733
General equipment	157,220
Small tools and equipment	8,543
Workshop, yards and other buildings	10,597
Workers' compensation	15,196
	<hr/> 421,289
Roads and streets	
Labour	313,206
Supplies	39,051
Street cleaning	18,872
Snow and ice control	78,941
Street and sidewalk maintenance	110,188
Interest on loans	19,683
Street lighting	123,759
Traffic services	17,084
Parking Meters	11,549
	<hr/> 732,333
	<hr/> \$ 1,153,622

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TOWN OF LUNENBURG
GENERAL SECTION
SCHEDULES TO STATEMENT OF OPERATIONS
YEAR ENDED MARCH 31, 2023

	2023
12. Environmental health services	
Transfer to Capital Reserve for Solid Waste	
Landfill Closure/post closure costs	\$ -
Solid Waste Landfill costs	157,447
	157,447
Sewage collection and disposal	
Labour, benefits and supplies	158,796
Sewer lift stations	178,104
Sewage treatment plant	690,346
Interest on sewer loans	20,041
	1,047,287
Garbage and waste collection and disposal	
Collection contract and other	232,939
Interest on waste disposal loans	-
	232,939
	\$ 1,437,673
13 Public Health Services	
Public Health	
Cemetery	\$ 2,474
Housing	
Deficit of Regional Housing Authority	25,162
	\$ 27,636
14. Environmental development services	
Environmental planning and zoning	
Salaries and benefits	\$ 201,870
Advertising and other	11,761
Development Costs-Upper King/Blockhouse Development	76,852
Legal/Consulting Fees	-
	290,483
Community development	
Old Fire Hall	23,689
CNR station	22,888
Lunenburg Academy	254,677
Annex - 17 Tannery Road	9,904
Economic Development/Tourism - General	95,013
Communications	11,329
Visitors service centre	15,101
	432,601
	\$ 723,084

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TOWN OF LUNENBURG
GENERAL SECTION
SCHEDULES TO STATEMENT OF OPERATIONS
YEAR ENDED MARCH 31, 2023

2023

15. Recreational and cultural services and education

Recreational facilities

Recreation

Salaries, wages and benefits	\$	337,737
Administration		9,785
Maintenance - fields and grounds		5,727
Maintenance - community centre		44,992
Maintenance - arena		143,791
Small tools		-
Program costs		10,660
Parks and playgrounds		71,307
Interest on capital loans		7,789

631,788

Cultural buildings and facilities

Library - Local branch		50,817
Transfer to Regional Library		18,600
Heritage projects		147,273
Capt. Angus J. Walters House Museum		-
Other services and public celebrations		9,401

226,091

\$ 857,879

16. Fiscal services

Principal instalments

Interest on temporary borrowing	\$	-
Debenture principal		403,601

403,601

Transfer to own reserves, funds and agencies

Reserve fund - operating reserve		524,725
Reserve fund - operating reserve safe restart		-
Reserve fund - capital reserve		551,914
General capital funds		-

1,076,639

Education

Appropriation to Regional School Board		909,426
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\$ 2,389,666

Town of Lunenburg - General Capital Funding 22-23															
	Budget	Actual	Sewer Reserves	General Operating Reserve	Community Building Fund formally Gas Tax	Deed Transfer Taxes	Capital Reserve	PW Equip Reserve	Fire Equip Reserve	Prov of NS	DIST 1 & 2	Donation	Capital from Operating	Borrowing	
TREE PLANTING-RESILIENT ROOTS	25,000	15,293.45								6,663.75		8,629.70			
<i>Budgeted funding: Deed Transfer Taxes & Donation</i>															
HIGHWAY 103 COMMUNITY IDENTIFY SIGNS	30,000	25,672.95		25,672.95											
<i>Budgeted funding: Op Reserve</i>															
TOWN HALL COUNCIL CHAMBER - AUDIO VISUAL EQUIPMENT	22,600	20,762.17		20,762.17											
<i>Budgeted funding: Op Reserve (Feb.8/22)</i>															
FIRE #4 REPLACEMENT	694,600	637,062.15							143,000.00		318,531.08			175,531.07	
<i>Budgeted funding: Town Debt & Fire Reserves, District 50%</i>															
FIRE HALL VEHICLE EXHAUST EXTRACT SYSTEM	125,000	116,967.17					58,483.58				58,483.59				
<i>Budgeted funding: Town Capital Reserves, District 50% (Sept.27/22)</i>															
ARENA BATHROOM RENOVATIONS (PLAN/TENDER)	70,000	66,940.44								22,448.07			44,492.37		
<i>Budgeted funding: Debt & Grants</i>															
ARENA ICE RESURFACER ROOM RENOVATIONS	61,000	45,300.00								14,965.38			30,334.62		
<i>Budgeted funding: Debt & Grants (July12/22)</i>															
CRICKET MODIFICATIONS TO BASEBALL FIELD	14,000	12,919.27								12,919.27					
<i>Budgeted funding: Grants</i>															
GREEN STREET SIDEWALK RENEWAL	115,000	24,533.29					24,533.29								
<i>Budgeted funding: Capital Reserve (cost is for design only)</i>															
DUKE STREET- LINCOLN TO TOWNSEND STREET	209,500	198,321.38			150,000.00	48,321.38									
<i>Budgeted funding: Gas Tax & Deed Transfer Taxes (Sept.13/22)</i>															
PRINCE CUMBERLAND TO FOX STREET RECONSTRUCT	209,500	198,321.38			150,000.00	48,321.38									
<i>Budgeted funding: Gas Tax & Deed Transfer Taxes (Sept.13/22)</i>															
WWTP-IMPROVE TREATMENT PROCESS	71,500	63,199.42				63,199.42									
<i>Budgeted funding: Deed Transfer Taxes</i>															
CSK-05, GREEN ST., KNICKLE RD., TANNERY RD. (STORM DIVERSION)	106,000	99,385.21			99,385.21										
<i>Budgeted funding: Gas Tax (Aug.9/22)</i>															
UPGRADE COMMUNICATION SYSTEMS TO PUMPING STATIONS	102,200	101,780.31			101,780.31										
<i>Budgeted funding: Gas Tax</i>															
WWTP - FLOOD PROTECTION (WWTP BERM)	365,100	334,877.66	82,377.66			52,500.00								200,000.00	
<i>Budgeted funding: Deed Transfer Taxes & Debt (June28/22)</i>															
CHEMICAL FEED PUMPS (2)	40,000	17,991.19			17,991.19										
<i>Budgeted funding: Gas Tax</i>															
PW 1/2 TON REPLACEMENT OF 2020 F150	36,350	35,224.08						35,224.08							
<i>Budgeted funding: PW Equip Reserve</i>															
MANHOLE COVER UPGRADES	31,500	16,367.23				16,367.23									
<i>Budgeted funding: Deed Transfer Taxes</i>															
PW 1/2 TON REPLACEMENT OF 2009 DODGE 1/2 TON	40,000	30,331.65						30,331.65							
<i>Budgeted funding: PW Equip Reserve (Aug.9/22)</i>															
DRESSER LOADER REPLACEMENT OF '86	228,500	228,386.33												228,386.33	
<i>Budgeted funding: Debt (Apr.12/22)</i>															
SNOW PUSH BLADE FOR BACK HOE	23,400	23,386.13						23,386.13							
<i>Budgeted funding: PW Equip Reserve (June28/22)</i>															
BLUENOSE DR SEWER LINE - IMPROVEMENTS RE: SALT WATER	375,000	233,674.68	123,999.66							109,675.02					
<i>Budgeted funding: Debt (June14/22)</i>															
	2,995,750	2,546,697.54	206,377.32	46,435.12	519,156.71	228,709.41	83,016.87	88,941.86	143,000.00	166,671.49	377,014.67	8,629.70	74,826.99	603,917.40	

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TOWN OF LUNENBURG
SUPPLEMENTARY FINANCIAL INFORMATION
STATEMENT OF OPERATING RESERVE FUNDS
YEAR ENDED MARCH 31, 2023

	Streets, Sewers & Others	Recreation	Safe Restart	LAFF	Pro Kids	Operating Surplus Reserve	Region 6 Diversion Spec. Projects	2023	2022
Balance, beginning	\$ 884,488	\$ 41,512	\$ 34,665	\$ 20,190	\$ 22,355	\$ 176,219	\$ 2,405	\$ 1,181,834	\$ 938,536
Donations	-	-	-	8,155	5,148	-	-	13,303	8,552
Interest	25,132	1,454	985	417	-	5,007	68	33,063	5,679
Contributions, other	-	11,000	-	-	-	-	-	11,000	21,500
Transfer from Town General	546,702	-	-	-	1,000	2,893	-	550,595	416,742
Transfer (to) Town General	(291,077)	-	-	(24,894)	(745)	-	-	(316,716)	(209,177)
Transfer, other	-	-	-	-	-	-	-	-	-
	280,757	12,454	985	(16,322)	5,403	7,900	68	291,245	243,297
Balance, ending	\$ 1,165,245	\$ 53,966	\$ 35,650	\$ 3,868	\$ 27,758	\$ 184,119	\$ 2,473	\$ 1,473,079	\$ 1,181,833

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TOWN OF LUNENBURG
SUPPLEMENTARY FINANCIAL INFORMATION
STATEMENT OF CAPITAL RESERVE FUND
YEAR ENDED MARCH 31, 2023

	Solid Waste Site Closure	Other Equipment	Fire Equipment	Federal/Prov CCBF Funds	Provincial Capital Funds	Deed Transfer Tax	2023 Total	2022 Total
Balance, beginning	\$ 3,422	\$ 606,966	\$ 172,263	\$ 471,864	\$ 55,710	\$ 893,165	\$ 2,203,390	\$ 1,812,572
Donations	-	10,000	-	-	-	-	10,000	47,583
Interest	92	17,627	5,281	13,979	735	30,199	67,913	11,960
Sale of Lands and Equipment	-	22,952	72,000	-	-	-	94,952	700
Deed transfer tax	-	-	-	-	-	428,530	428,530	485,751
Conditional transfers from Provincial government	-	-	-	212,870	388,454	-	601,324	454,453
Transfer from Town General	-	31,057	25,000	-	-	-	56,057	121,456
Transfer to Town Capital	-	(171,959)	(143,000)	(519,156)	-	(228,709)	(1,062,824)	(729,570)
Transfer, other	(2,632)	-	(53,500)	-	-	-	(56,132)	(1,514)
	(2,540)	(90,323)	(94,219)	(292,307)	389,189	230,020	139,820	390,819
BALANCE, ENDING	\$ 882	\$ 516,643	\$ 78,044	\$ 179,557	\$ 444,899	\$ 1,123,185	\$ 2,343,210	\$2,203,391

Subject: Electric Utility Operating and Capital Year End

Prepared by: Lisa Dagley, Finance Director

Reviewed by: Jamie Doyle, CAO

Date: October 10, 2023



Recommendation

That Council approve that, for the fiscal year ended March 31, 2023, the Electric Utility fund the Capital Expenditures of \$1,107,802 with \$393,319 in reserves, \$459,275 in depreciation funds and \$255,209 in customer contributions.

Alternatives

- Deny the request.
- Modify the request.

Background

Finance staff have completed the Electric Utility's year-end and our auditors have completed their audit field work. The Electric Utility's draft financial statements have been completed and an Audit Committee meeting will be held the last week in October.

Discussion

For the fiscal year ended March 31, 2023 the Electric Utility ended the year with a deficit of \$22,859. The largest contributing factor to this were sales under budget targets due to a fairly mild winter with the exception of a few very cold days which drove our ratchet demand up to the highest level ever. (Schedule 1)

The cost of capital maintenance continues to climb for the Electric Utility. The capital expenditures completed cost \$1,107,802 this past fiscal year (Schedule 2). Rather than undertake a capital borrowing this year staff are recommending the use of a combination of reserves and depreciation funds net of customer contributions to fund the 2022/23 capital expenditures.

Strategic Plan Relevance

Servicing and Facilities: Direction to ensure efficient infrastructure, and that municipal facilities are properly managed and maintained for future use.

Financial

As outlined above.

Attachments

Schedule 1 – Draft Statement of Financial Activities

Schedule 2 – Capital Funding

Schedule 3 – Capital Reserve Statement of Financial Activities

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Schedule 1

TOWN OF LUNENBURG
ELECTRIC UTILITY
STATEMENT OF OPERATIONS
YEAR ENDED MARCH 31, 2023

	2023		
	Budget	Actual	Variance
Operating Revenue			
Residential, commercial and Industrial electric energy sales	6,699,000	6,457,686	\$ 241,314
Street lighting - town and others	137,400	137,015	385
Customers' late charges	38,000	40,009	(2,009)
Miscellaneous	27,600	27,621	(21)
	6,902,000	6,662,331	239,669
Operating Expenditure			
Power purchased	5,326,500	5,300,756	25,744
Substations	71,600	38,321	33,279
Transmission and distribution	482,400	388,675	93,725
Administration and general	739,400	729,776	9,624
Depreciation	207,000	181,228	25,772
Taxes	-	-	-
	6,826,900	6,638,756	188,144
Net Operating Revenue	75,100	23,575	51,525
Non-operating Revenue			
Interest earned	5,000	17,201	(12,201)
Miscellaneous	25,000	41,244	(16,244)
Expired Deposits & Other Settlements	-	-	-
	30,000	58,445	(28,445)
Non-operating Expenditure			
Interest on long-term debt	5,100	4,878	222
Principal repayments	100,000	100,000	-
Transfer to capital reserve	-	-	-
	105,100	104,878	222
Net Non-Operating Revenue (Expenditure)	(75,100)	(46,433)	(28,667)
Excess of revenue over expenditures	-	(22,858)	22,858
Accumulated Surplus, beginning of year		470,014	
Accumulated Surplus, end of year		\$ 447,156	

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Town Of Lunenburg
 Electric Utility
 Capital Funding 2022/23

	Budget	Expenditure	Funding			Total 22-23
			Depreciation	Future Capital & Surplus Equipment	Customer Contributions	
Overheads	\$ 187,500.00	\$ 129,465.56	\$ 45,314.14		\$ 84,151.43	
Poles & Fixtures	\$ 75,000.00	\$ 105,903.13	\$ 105,903.13			
Street Lighting (LED conversion)	\$ 100,000.00	\$ 299,771.55	\$ 49,408.64	\$ 250,362.91		
Street Light Study (LED)	\$ 29,600.00	\$ 27,117.78	\$ 27,117.78			
Three-phase Extension Tannery Road	\$ 248,000.00	\$ 342,114.67	\$ 171,057.34		\$ 171,057.33	
Transformers	\$ 120,000.00	\$ 145,874.82	\$ 2,918.56	\$ 142,956.26		
New Services	\$ 37,500.00	\$ 57,554.95	\$ 57,554.95			
	<u>\$ 797,600.00</u>	<u>\$ 1,107,802.46</u>	<u>\$ 459,274.54</u>	<u>\$ 393,319.17</u>	<u>\$ 255,208.75</u>	<u>\$ 1,107,802.46</u>

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Schedule 3

ELECTRIC UTILITY
STATEMENT OF CAPITAL RESERVE
YEAR ENDED MARCH 31, 2023

	Depreciation			2023	2022
	Funds	Equipment	Substation	Total	Total
Balance, beginning	\$ 469,810	\$ 138,259	\$ 241,976	\$ 850,045	\$ 922,763
Interest	16,165	4,697	8,387	29,249	6,695
Contributions, other	-	-	-	-	-
Transfer (from)/ to Capital Fund	(459,275)	(142,956)	(250,363)	(852,594)	(467,005)
Transfer from operations	181,228	-	-	181,228	387,592
	(261,882)	(138,259)	(241,976)	(642,117)	(72,718)
Balance, ending	\$ 207,928	\$ -	\$ -	\$ 207,928	\$ 850,045

Subject: Water Utility Operating and Capital YearEnd

Prepared by: Lisa Dagley, Finance Director

Reviewed by: Jamie Doyle, CAO

Date: October 10, 2023



Recommendations

That Council approve, for the fiscal year ended March 31, 2023, transferring \$38,500 from the Water Utility to the Water Utility Land Reserve.

That Council approve, for the fiscal year ended March 31, 2023, the Water Utility provide a dividend of \$25,000 to the Town General fund.

Alternatives

- Deny the request.
- Modify the request.

Background

Finance staff have completed the Water Utility's year-end and our auditors have completed their audit field work. The Water Utility's draft financial statements have been completed and an Audit Committee meeting will be held the last week in October.

Discussion

For the fiscal year ended March 31, 2023 the Water Utility had a surplus after budgeted reserve transfers of \$49,110 and as a result staff are recommending some additional reserve and dividend amounts.

The Land Reserve transfer was originally budgeted for \$5,000 and staff are recommending the amount be increased to \$38,500 for 2022/23. After the \$38,500 transfer in 2022/23 the balance of the Land Reserve will be \$152,965.

In addition staff are recommending that the Water Utility Dividend to the Town budgeted at \$10,000 be increased to \$25,000. This is the maximum dividend for 2022/23 approved by the Nova Scotia Utility and Review Board during the Water Utility's most recent rate application.

After the additional reserve transfer and dividend the Water Utility will have a modest surplus of \$610 for the year. (Schedule 1)

The Water Utility completed \$648,933 of capital expenditures (Schedule 2). The capital expenditures have been funded from Depreciation Reserves, less grants received, as previously approved by Council.

Strategic Plan Relevance

Servicing and Facilities: Direction to ensure efficient infrastructure, and that municipal facilities are properly managed and maintained for future use.

Financial

As outlined above.

Attachments

Schedule 1 – Draft Statement of Financial Activities

Schedule 2 – Capital Funding

Schedule 3 – Capital Reserve Statement of Financial Activities

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TOWN OF LUNENBURG
WATER UTILITY OPERATING FUND
STATEMENT OF FINANCIAL ACTIVITIES
YEAR ENDED MARCH 31, 2023

	2023		Variance
	Budget	Actual	
Operating Revenue			
Metered sales	\$ 547,500	\$ 538,643	\$ 8,857
Flat rate sales	675,000	687,528	(12,528)
Public fire protection	331,000	330,336	664
Sprinkler service	7,000	7,000	-
Other	12,700	11,820	880
Total Operating Revenue	1,573,200	1,575,327	(2,127)
Operating Expenditure			
Source of supply	41,700	75,416	(33,716)
Pumping	63,000	84,465	(21,465)
Water treatment	346,600	335,645	10,955
Transmission and distribution	236,700	231,206	5,494
Administrative and general	486,000	416,569	69,431
Depreciation	296,300	293,195	3,105
Taxes	43,000	43,479	(479)
Total Operating Expenditure	1,513,300	1,479,975	33,325
Net Operating Revenue	59,900	95,352	(35,452)
Non-operating Revenue			
Interest earned	2,500	14,539	(12,039)
Grants from Province of Nova Scotia	9,000	10,546	(1,546)
Miscellaneous	500	-	500
	12,000	25,085	(13,085)
Non-operating expenditure			
Interest charges - short term	-	30	(30)
Debt charges			
Principal	40,750	40,750	-
Interest and discount	16,150	15,547	603
Transfer to capital fund	-	-	-
Transfers to Reserve			
Reserve for land purchases	5,000	38,500	(33,500)
Reserve for Membrane Replacement	-	-	-
	61,900	94,827	(32,927)
Net Non Operating Revenue (Expenditure)	(49,900)	(69,742)	19,842
Excess of revenue over expenditure	\$ 10,000	25,610	(15,610)
Accumulated Surplus, beginning of year		253,687	
Transfer to Town General, dividend	(10,000)	(25,000)	15,000
Accumulated Surplus, end of year	\$ -	\$ 254,297	

Town Of Lunenburg
 Water Utility
 Capital Funding 2022/23

	Budget	Expenditure	Funding			
			Depreciation	FCM Grant	Insurance	Total 22-23
Water System Survey/GIS Development	\$ 62,500.00	\$ 76,884.38	\$ 26,884.38	\$ 50,000.00		
Intersection Falkland Street & Green Street to Tannery Road	\$ 484,000.00	\$ 505,948.56	\$ 505,948.56			
Spare Industrial Hot Water Tank	\$ 5,500.00	\$ 6,118.46	\$ 6,118.46			
Spare Sigma Pump for Soda Ash System	\$ 6,500.00	\$ 6,901.86	\$ 6,901.86			
Replacement Chlorinator	\$ 11,800.00	\$ 10,749.80	\$ 10,749.80			
Replacement Hydrants	\$ 10,000.00	\$ 5,627.26	\$ 5,627.26			
Half Ton Trucks	\$ 31,332.00	\$ 28,386.09	\$ 22,054.09		\$ 6,332.00	
Furnace Armouries	\$ 13,500.00	\$ 8,316.81	\$ 8,316.81			
	<u>\$ 625,132.00</u>	<u>\$ 648,933.22</u>	<u>\$ 592,601.22</u>	<u>\$ 50,000.00</u>	<u>\$ 6,332.00</u>	<u>\$ 648,933.22</u>

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Schedule 3

WATER UTILITY CAPITAL RESERVE
STATEMENT OF FINANCIAL ACTIVITIES
YEAR ENDED MARCH 31, 2023

	General and equipment	Land	Depreciation Funds	2023 Total	2022 Total
Balance, beginning	\$ 762,334	\$ 110,912	\$ 1,899,841	\$ 2,773,087	\$ 2,450,117
Interest	24,409	3,551	60,831	88,791	16,616
Transfer from operations	-	38,500	293,195	331,695	414,785
Transfer to capital	-	-	(592,601)	(592,601)	(108,431)
	24,409	42,051	(238,575)	(172,115)	322,970
Balance, ending	\$ 786,743	\$ 152,963	\$ 1,661,266	\$ 2,600,972	\$ 2,773,087

Subject: Revised Draft Old Town Lunenburg Heritage Conservation District Plan and By-law



From: Hilary Grant, Senior Planner & Heritage Officer

Reviewed by: Arthur MacDonald, Director of Community Development

Date: October 10, 2023

Recommendation

Council adopt first reading of the revised draft *Old Town Lunenburg Heritage Conservation District Plan and By-law* (Attachment A) and give notice for a November 28, 2023 Public Hearing.

Alternatives

- Do not pass First Reading and do not give notice of a Public Hearing.
- Defer a decision.

Background

Old Town Lunenburg is a municipal heritage district that encompasses a National Historic Site of Canada district (Attachment B - Statement of Significance) and a World Heritage Site (Attachment C - Statement of Outstanding Universal Value). The Town of Lunenburg is the authority legislated to legally protect Old Town Lunenburg for future generations through a Heritage Conservation District Plan and By-law. Legal protection of Old Town Lunenburg's Outstanding Universal Value is a requirement of its World Heritage listing.

On August 9, 2022, the Town of Lunenburg adopted the 'Procedural Policy Heritage Conservation District Public Participation' (Attachment D). Adopting a Policy is required under the 'Heritage Conservation District Regulations' of the *Heritage Property Act* (Attachment E - Minimum requirements to pass a new Heritage Conservation District Plan and By-law). The Heritage Advisory Committee's Public Participation Schedule concluded June 26, 2023. On September 13, 2023, the Heritage Advisory Committee recommended Council adopt first reading of the revised draft *Old Town Lunenburg Heritage Conservation District Plan and By-law* and give notice for a public hearing.

Discussion

Overarching Approach

The primary goal of designating Old Town Lunenburg as a Heritage Conservation District is to protect its heritage value for present and future generations. The conservation of Old Town Lunenburg Heritage Conservation District will be guided by the three standards below, which draw heavily from national and international policy documents.

1. Minimal intervention – Interventions must be undertaken with the utmost care to minimize the loss of historical evidence and ensure the district's integrity. Intact or repairable character-defining elements should not be demolished, removed, replaced, or substantially altered.

2. Compatibility – Development within Old Town Lunenburg Heritage Conservation District is not prohibited but must be visually and physically compatible with surrounding character-defining structures.
3. Legibility – Changes within the district, including to individual structures, must be legible upon close inspection and should be thoroughly documented to ensure the district’s authenticity.

Sustainability and Inclusivity

UNESCO has observed that sustaining the Outstanding Universal Value of Old Town Lunenburg requires retaining historical accuracy and encouraging sympathetic building renovation while mitigating strains caused by climate change, tourism, and the financial burden of conservation amidst rising property values. While the *Heritage Property Act* may be used to legally protect Old Town Lunenburg, conserving the district’s rich heritage requires a combination of regulatory and non-regulatory measures. This Plan and By-law include policies surrounding documentation, community capacity-building, and conservation incentives. It also recommends exploring mitigation measures against demolition by neglect and land speculation.

Old Town Lunenburg Heritage Conservation District is internationally recognized as the best-preserved planned colonial settlement in North America. While Old Town Lunenburg Heritage Conservation District's Statement of Significance was written to protect the heritage values for which it has been formally recognized by governments as municipally, provincially, nationally, and internationally significant, the draft Plan encourages the recognition and conservation of alternate heritage values, especially those held by Indigenous, Afro-Nova Scotian, Acadian, and other persons. Providing people of all ages, interests, and abilities access to the district and its properties is also a priority. The draft Plan supports solutions that provide the highest level of access with the lowest level of heritage impact.

Ensuring the longevity of Old Town Lunenburg Heritage Conservation District requires sustainable solutions to pressing issues like climate change. This Plan and By-law promote cultural, economic, and environmental sustainability by endorsing alterations adapted to changing environmental conditions. This includes guidelines on green technologies like solar panels and micro wind turbines.

Revised Statement of Significance

The Plan and By-law follow a value-based heritage management approach, as recommended under the *Operational Guidelines for the Implementation of the World Heritage Convention* (Section 51) and the second edition of the *Standards and Guidelines for the Conservation of Heritage Places in Canada* (2010). Management decisions will be made considering whether actions enhance or compromise the district's heritage value as outlined in the district's Statement of Significance (see Attachment A).

A Statement of Significance is a heritage planning tool that briefly describes a historic place, its heritage values, and its character-defining elements. Character-defining are elements that embody, materially or immaterially, a place’s heritage value. The Old Town Lunenburg Statement of Significance has been prepared to align all the district’s extant municipal, provincial, national, and international designations. This approach ensures all the values for which Old Town Lunenburg was listed as a World

Heritage Site are protected, instead of focusing solely on historic buildings, historic urban form or setting. If adopted, any proposed changes to the district's Statement of Significance moving forward would need to be referred to the Heritage Advisory Committee before proceeding to a Council vote. Changes to National Historic Sites and Provincial Heritage Properties within Old Town Lunenburg – 80-82 Pelham Street, Knaut-Rhuland House, Lennox Tavern, Lunenburg Academy, Solomon House, St. John's Anglican, or Zion Evangelical Lutheran Church - are managed by building specific Statements for Significance. New Statements of Significance have also been written for ecclesiastic, civic, and locally significant structures in the district (see Attachment A).

Expanded District Boundary

If Old Town Lunenburg Heritage Conservation District's heritage value is to be conserved, the character-defining elements necessary to maintain its integrity must fall within the district's boundaries. The boundaries in this Plan and By-law include all the features and processes that convey the district's significance. It corresponds to Charles Morris' Plan and the District's boundary as recognized by UNESCO (Attachment F), with the addition of a Transition Area rearranged, in part, to capture the archaeological remains of the original fortifications and the UNESCO Buffer Zone. This change brings the new *Old Town Lunenburg Heritage Plan and By-law* in line with the *Operational Guidelines for the Implementation of the World Heritage Convention* (Sections 103 to 107).

Preserving the Plan

According to the World Heritage Committee, "Old Town Lunenburg is a well-preserved example of 18th century British colonial urban planning, which has undergone no significant changes since its foundation, and which largely continues to fulfil the economic and social purposes for which it was designed." Under the draft By-law, street encroachment, grading, sightlines, and building height, density and setbacks are regulated within different heritage character areas with different criteria. Retaining historic functions is essential to Old Town Lunenburg's World Heritage listing. As such, while adaptative reuse is not prohibited under the By-law, adaptive reuse will only be encouraged when it supports the intent of the colonial plan. Every effort must be made to retain the civic area's public functioning. Public functioning includes the provision of public services and public access.

Sustaining Maritime Culture

Old Town Lunenburg is home to an evolving maritime tradition, including a changing fishery. This maritime tradition is foundational to the district's integrity such that both historic and contemporary evidence of maritime culture are character-defining elements of the district. District management must balance allowing continued maritime activities and preserving maritime vernacular buildings that testify to Lunenburg's rich fishing and shipbuilding history. Balance is achieved through a mixture of regulations pertaining to the Waterfront Area and maritime character-defining structures. While adaptative re-use is not prohibited, adaptive re-use will only be encouraged within the Waterfront Areas when it supports marine activity. While overall the Plan and By-law take a minimal intervention approach, the Heritage Officer may advise guideline leniency for preservation and rehabilitation proposals in the Waterfront Area that demonstrate their positive contribution to continuing traditional Lunenburg marine activities.

Conserving Vernacular Architecture

Conserving Lunenburg's unique vernacular architecture requires two almost contradictory approaches. First, historic vernacular structures must be conserved. Second, as a living tradition, neo-vernacular construction must be encouraged. A list and map of character-defining, locally significant and supporting structures has been prepared to clarify what buildings testify to Lunenburg's outstanding vernacular architectural tradition. Conservation guidelines for different types of character-defining structures – civic, commercial, ecclesiastic, and marine-industrial – versus supporting and locally significant structures are outlined in the By-law. Any physical work on a vernacular structure listed as character-defining under this Plan and By-law should be cautious and preceded by considering the building's form and structure. Any structure built after the enactment of this Plan and By-law will automatically be a supporting building unless otherwise decided by Council through an amendment to the list of character-defining structures. Any change to the list would need to be referred to the Heritage Advisory Committee before a council vote.

UNESCO has noted that, “[w]hile a continuing vernacular architectural tradition is integral to the property's Outstanding Universal Value, there has been very limited infill in the modern era.” The draft Plan and By-law thus encourage neo-vernacular construction in and around Old Town Lunenburg. Standalone construction, including new buildings, outbuildings, structures, fences, or signs within the district, must be physically and visually compatible with, subordinate to, and distinguishable from surrounding character-defining structures. New buildings in the district must be compatible with Lunenburg's character-defining structures of the same type, whether civic, commercial, residential, or marine-industrial. Additions, alterations, and new construction must incorporate traditional materials, construction techniques and skills wherever possible.

Administration

Under the new Plan and By-law, the following work will require a Certificate of Appropriateness:

- (a) Demolition or removal of a structure on the list of character-defining and locally significant structures;
- (b) Construction of new or exterior alterations to existing buildings and structures, including utility structures and outbuildings, including, but not limited to cladding, foundation, trim, chimneys, porches, roofs, verandas and exterior steps or stairs changes;
- (c) Additions to any existing structures, including but not limited to new balconies, decks, dormers, ells, exterior stairs, fuel tanks, heat pumps, porches, satellite dishes, micro wind turbines, signs, solar panels, verandas, wings and permanent mechanical or electrical equipment;
- (d) Construction of new or alterations to existing fences; and
- (e) Construction of new or alterations to existing retaining walls.

Under the new Plan and By-law, the following work will not require a Certificate of Appropriateness

- (a) Maintenance and repair of existing buildings, signs, fences, stairs, porches, verandas, and utility structures, if such are not altered and remain the same as before, including, but not limited to, in materiality, size, placement and architectural detail;
- (b) Renovation of the interior of a building;
- (c) Exterior paint, including changing the exterior colour of existing structures;
- (d) Recladding in-kind, using identical materials to the exact same specifications, including, but not limited to, size and placement;
- (e) Replacement of trim in-kind, using identical materials to the exact same specifications, including, but not limited to, size and placement;

- (f) Replacement of porches and verandas in-kind, using identical materials to the exact same specifications, including, but not limited to, size and placement;
- (g) Re-roofing using identical materials to the exact same specifications, including, but not limited to, colour, size and placement;
- (h) Pet houses and children's play structures;
- (i) Temporary signs or structures erected for a period not exceeding thirty-one (31) days;
- (j) Canvas and plastic tarp buildings on lots directly abutting Lunenburg's Harbour located in the Marine Industrial (MI) Zone, subject to the requirements of the Land Use By-law, for the enclosure of ships, vessels and other marine-related equipment and accessory components;
- (k) Repaving of existing paved surfaces; and
- (l) Repair to soft landscaping.

The approval, imposition of conditions on, or denial of a Certificate of Appropriateness may be appealed to the Nova Scotia Utility and Review Board, subject to the provisions of the Nova Scotia *Heritage Property Act* and Heritage Conservation District Regulations.

Public Hearings

Any application to demolish or remove a character-defining structure from the district must proceed to a public hearing and a Council vote. Before a vote, the application must be referred to the Heritage Advisory Committee.

Council may consider the following when evaluating applications:

- The application to demolish or remove and the design of any replacement structure;
- The impact of the proposal on the heritage values and character-defining elements of Old Town Lunenburg Heritage Conservation District;
- The advice of the Heritage Officer;
- The advice of any external advisor, as applicable; and
- Public Hearing comments.

Applications to demolish character-defining structures should not be approved unless there is irreversible structural damage. Applications to demolish a character-defining structure must be accompanied by two engineering reports from accredited engineers attesting to the site's lack of structural integrity.

The Heritage Officer may, at their discretion, refer any proposal requiring a Certificate of Appropriateness to the Heritage Advisory Committee for comment. The draft Plan stipulates that the Heritage Officer should pay extra attention to:

- Applications to substantially alter a character-defining structure, including but not limited to additions greater than 25% of the existing building's footprint;
- Applications to construct new public or commercial buildings; and
- Proposals where heritage values or the treatment of character-defining elements appear to be in conflict, such as continued use versus the preservation of historic fabric.

When a public hearing is required, every effort will be made so the Heritage Advisory Committee will review the issue within thirty (30) days of receipt of the complete application by the Heritage Officer.

Every effort will be made such that Council considers the development within thirty (30) days of the Heritage Advisory Committee rendering their recommendation. The Heritage Officer may issue or deny a Certificate of Appropriateness within thirty (30) days per Council's decision.

Heritage Advisory Committee Review

On May 29, 2023, the Heritage Advisory Committee used their discretion under Section 3 of the Town of Lunenburg's 'Policy Procedural Policy for Heritage Conservation District Public Participation' to increase public participation in reviewing the draft Plan and By-law before rendering a recommendation. Increasing public involvement and expanding the scope of communication with residents to include Architectural Control Area property owners demonstrated the Heritage Advisory Committee's commitment to making every reasonable effort to seek the opinions of the public on all relevant matters and reserve time for commentary, questions, and presentations. The public participation program included:

- Sending letters to all property owners within the proposed district boundary and Architectural Control Areas.
- Advertising this Public Participation Meeting in the *Progress Bulletin* on June 14 and 21.
- Promoting this Public Participation Meeting and other events and updates on social media.
- Making the draft Plan and By-law available online on the Town's website and at Town Hall.
- Staff being available to answer questions and receive comments by phone, mail, and email.
- Posting answers to frequently asked questions on the Town's website (Attachment G).
- Hosting two Open Houses:
 - June 15 – 4:00 pm to 7:00 pm – Fire Hall (25 Medway St.)
 - June 19 – 6:00 pm to 8:00 pm – Online
 - June 25 – 12:00 pm to 4:00 pm – Bandstand (125 Cumberland St.)
 - June 26 Public Participation Meeting – 6 pm – Town Hall (119 Cumberland St.)

Staff interacted with approximately 125 people, around 95% of which were residents, as part of the public participation schedule. Staff presented their 'What We Heard Report' to the Committee on July 11, 2023 (Attachment H). The July 11, 2023, Staff memo outlined staff's Plan and By-law revision recommendations based on public feedback. The Heritage Advisory Committee advised staff to revise the Old Town Lunenburg Heritage Conservation Plan and By-law following the July 11, 2023, recommendations. The draft Old Town Lunenburg Heritage Conservation District Plan and By-law was referred to the Town's legal counsel on August 21, 2023, who rendered a thorough review September 5, 2023

Strategic Plan Relevance

Heritage

- Preserve the valuable heritage resources of Lunenburg while embracing an ongoing landscape evolution.
- Update and clarify heritage management frameworks to respond to current needs and follow best practices.
- Expand the classification of heritage resources to include a range of elements with tangible and intangible heritage value.

- Expand heritage recognition beyond European colonial landscapes to include perspectives of Nova Scotia's First Nations, Black communities, and other cultural groups.

Community Structure

- Direction regarding how the town will be structured and how land will be used.

Urban Design

- Direction to enhance residents' and visitors' experience of the built environment.

Relevant Legislation

UNESCO *Convention Concerning the Protection of the World Cultural and Natural Heritage*
 Nova Scotia *Heritage Property Act* and associated Heritage Conservation Districts Regulations
 Town of Lunenburg *Old Town Lunenburg Heritage Conservation District Plan and By-law*
 Town of Lunenburg *Municipal Planning Strategy*
 Town of Lunenburg *Land Use By-Law*

Financial

The Town has administered the current Heritage Conservation District Plan and By-law since September 4, 2000, and its replacement should not significantly impact the Town's financial or human resources. There is a cost associated with advertising the public hearing. This project is currently under budget such that funds are available to cover the advertising requirements.

Communications

To adopt a new *Old Town Lunenburg Heritage Conservation District Plan and By-law*, Council must:

- Hold a Public Hearing and receive oral and written submissions.
- Advertise the Public Hearing at least once a week for two weeks in the local newspaper.
- Mail a letter to each property owner within the revised Old Town Lunenburg Heritage Conservation District boundary.

Staff will also:

- Make the draft Plan and By-law available online on the Town's website and in-person at Town Hall.
- Post answers to frequently asked questions on the Town's website.
- Be available to answer questions by phone, mail, or email.
- Notify Parks Canada again that a new *Old Town Lunenburg Heritage Conservation District Plan and By-law* is under consideration and make documents available as requested.

Attachments

Attachment A – Revised Draft *Old Town Lunenburg Heritage Conservation District Plan and By-law*

Attachment B – Old Town Lunenburg Historic District National Historic Site of Canada Statement of Significance

Attachment C – Old Town Lunenburg World Heritage Site Statement of Outstanding Universal Value

Attachment D – Town of Lunenburg Procedural Policy Heritage Conservation District Public Participation Program

Attachment E – Minimum Procedural Requirements to Pass a New Heritage Conservation District Plan and By-law

Attachment F – Old Town Lunenburg UNESCO World Heritage Site Boundary and Buffer Zone versus proposed Old Town Lunenburg Heritage Conservation District boundary.

Attachment G – Frequently Asked Questions

Attachment H – What We Heard Report

**OLD TOWN LUNENBURG
HERITAGE CONSERVATION
DISTRICT PLAN**

2023



Navigating the
Future. Together.

TOWN OF LUNENBURG HERITAGE CONSERVATION DISTRICT PLAN, 2023

First Reading:

Second Reading:

Approved by the Minister of Municipal Affairs:

Notice of Effect:

With Amendments to:



Changelog

Reference Code	File or Application Number	Council Adoption Date	Enacted Date	General Description of Change



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1 Intent of the Old Town Lunenburg Heritage Conservation District Plan and By-law

Policy 1: It is Council's policy to conserve the heritage value of Old Town Lunenburg Heritage Conservation District, its authenticity and integrity.

Policy 2: It is Council's policy to establish a Heritage Conservation District for Old Town Lunenburg concurrently with a By-law describing the Heritage Conservation District, guiding the district's conservation and development, and outlining procedures for administering the district.

The primary goal of designating Old Town Lunenburg as a Heritage Conservation District is to protect its heritage value for present and future generations. The Town of Lunenburg achieves this goal through this Old Town Lunenburg Heritage Conservation District Plan and By-law (Plan and By-law), which ensure:

- The management of Old Town Lunenburg Heritage Conservation District adheres to internationally and nationally agreed upon best practices: The Town of Lunenburg is responsible to the global community for the stewardship of Old Town Lunenburg World Heritage Site. This Plan and By-law have been prepared to ensure the Town meets the highest standards of heritage conservation while remaining responsive to the Town's changing needs. The Plan and By-law use a value-based heritage management approach, as recommended under the second edition of the *Standards and Guidelines for the Conservation of Heritage Places in Canada* (2010). Management decisions will be made considering whether actions enhance or compromise the district's heritage value as outlined in the district's Statement of Significance (see Section 3.1 of this Plan). This Plan and By-law meet the United Nation's Education, Scientific and Cultural Organization's (UNESCO) strategic priorities for World Heritage Sites (Appendix A) and are informed by national and international policy documents (see Section 4.1 of this Plan).
- Old Town Lunenburg Heritage Conservation District is protected through regulatory and non-regulatory measures: Legal protection of Old Town Lunenburg's Outstanding Universal Value is a requirement of its World Heritage listing. The Nova Scotia *Municipal Government Act* (1998), *Heritage Property Act* (1989), and amendments thereto legally protect Old Town Lunenburg Heritage Conservation District. However, Council recognizes that conserving the district's rich heritage requires a combination of regulatory and non-regulatory measures. This Plan and By-law include policies surrounding documentation, capacity-building and incentives recommended in national and international guidelines and policies. This Plan and By-law thus fill critical gaps in Old Town Lunenburg Heritage Conservation District's conservation strategy to date.
- Old Town Lunenburg Heritage Conservation District is managed to maximize community benefit: Community vitality is essential to conserving the district, as is evidenced by UNESCO's strategic priorities and UNESCO's World Heritage Committee's *Budapest Declaration* (2010). This Plan and By-law seek to balance community participation, good governance and the administrative burden placed on the Town. Projects should benefit the district and the people who live, work, and visit Old



Town Lunenburg. Projects must conserve the district's heritage value and character-defining elements but should also support tourism and embrace the well-being of residents.

- Old Town Lunenburg Heritage Conservation District's management prioritizes increased recognition of diverse histories: While Old Town Lunenburg Heritage Conservation District's Statement of Significance was written to protect the heritage values for which it has been formally recognized by governments as municipally, provincially, nationally, and internationally significant, this Plan and By-law encourages the recognition and conservation of other heritage values, especially those held by Indigenous, Afro-Nova Scotian, Acadian and other groups.
- Old Town Lunenburg Heritage Conservation District's management promotes sustainable solutions: Ensuring the longevity of Old Town Lunenburg Heritage Conservation District requires sustainable solutions to pressing issues like climate change. This Plan and By-law promote cultural, economic, and environmental sustainability by endorsing alterations adapted to changing environmental conditions and activities that maintain and enhance cultural identity and social cohesion and support economic opportunity without compromising the district's heritage value.

The Old Town Lunenburg Heritage Conservation District Plan and By-law provide clearer direction on conserving the district's heritage value and character-defining elements, including preservation, alteration, and new construction within the district. Elements UNESCO deemed essential to Old Town Lunenburg Heritage Conservation District's integrity and authenticity have been included in the Statement of Significance as character-defining elements. This is legally enforced through the adoption by Council of this Plan and By-law. The Plan also provides guidelines on activities such as research, documentation, capacity-building, presentation, and threat mitigation that greatly contribute to the conservation of Old Town Lunenburg Heritage Conservation District.

2 Planning Context: Lunenburg's History

E'se'katik: A Place of Clams within Mi'kma'ki

The Town of Lunenburg is located in Mi'kma'ki, traditional Mi'kmaq territory. Mi'kma'ki has seven districts. Present-day Lunenburg is located in Sipekni'katik (wild potato area) on the peninsula E'se'katik (place of clams). The Mi'kmaq have been present in this area for ten thousand years, traditionally with more people spending time in E'se'katik in the summer months. Oral histories and early eighteenth century texts refer to a Mi'kmaq village near present-day Lunenburg, confirming the enduring presence of Indigenous peoples in this place.

Merliguèche: Acadian Settlement

Acadians settled near the Mi'kmaq village in what is now the Town of Lunenburg in the seventeenth century, trading with the Mi'kmaq. The Acadians used the Mi'kmaq term Merliguèche (whitecaps that top the waves in the harbour) for their new settlement. By the mid-eighteenth century, Merliguèche was home to fifteen Acadian families. Descriptions of the settlement mention comfortable wooden houses covered with bark.

A Town for Those Loyal to the Crown



In 1753, Lunenburg became Canada's second British colonial settlement, following Halifax, founded in 1749. To control the Acadian population, the British populated Lunenburg with European Protestants whom they considered loyal to the Crown. The first 1453 settlers were German and Swiss German, alongside some French Huguenots from Montbeliard.

The British Board of Trade and Plantations established a model for new towns in colonies. Surveyor General Charles Morris drew the plan for Lunenburg according to this model. The surveying of Lunenburg was executed almost exactly as it was drawn; eight blocks, each divided into fourteen equal lots measuring 40 feet by 60 feet, with four central blocks left undivided and designated in public trust. Consequently, the Old Town Lunenburg's streets are perfectly straight but range from relatively flat to surprisingly steep. The plan was complemented by garden plots outside town, previously cleared by the Acadians.

A Wooden Town that Thrived and Survived

Lunenburg's architecture reflects its history as a shipbuilding and fishing town. At first, vernacular cape-style houses and a handful of industrial and commercial structures were built. As Lunenburg experienced success and wealth in the late-nineteenth century, new buildings were constructed to the latest fashions, and many existing buildings were enriched with lively decoration. Additions were often added to older homes, including the Lunenburg Bump, unique to Lunenburg County. Public and ecclesiastic buildings filled the public squares and periphery blocks. New commercial and mixed-use buildings were constructed, principally along east-west streets, southwest of the public blocks and north of the railway and waterfront. The Town of Lunenburg simultaneously followed its British colonial plan and developed a rich vernacular architectural tradition employing local materials. Architectural development was closely connected to the fishery, especially Lunenburg's boatbuilding prowess.

Lunenburg Today and Tomorrow:


Throughout the rest of the Town's history, Old Town's architecture has been adapted and conserved along a continuing vernacular tradition. This, combined with evidence of its original colonial plan, warranted Old Town Lunenburg being listed as a National Historic District in 1991 and a World Heritage Site in 1995.

3 Defining Old Town Lunenburg Heritage Conservation District

3.1 Statement of Significance

Policy 3: It is Council's policy to adopt the following Statement of Significance to guide decision-making surrounding Old Town Lunenburg Heritage Conservation District.

Policy 4: It is Council's policy that alterations to the Statement of Significance must be made by amending this Plan and thus must be referred to the Heritage Advisory Committee for comment and approval by Council.



Policy 5: It is Council’s policy that, when available for individual sites, Statements of Significance will guide all interventions on all historic properties.

A Statement of Significance is a heritage planning tool that briefly describes a given historic place, its heritage values, and its character-defining elements. Character-defining elements embody or materially support a place’s heritage value. Without its character-defining elements, a historic place would lose its heritage value. Thus, conserving the heritage values and character-defining elements identified in a Statement of Significance is essential to maintaining a site's integrity and authenticity and must be treated with the utmost care. The Statement of Significance, therefore, informs all conservation goals, standards, and techniques, so a place's importance drives decision-making rather than, for example, its physical condition. Whether developments or other activities within Old Town Lunenburg Heritage Conservation District are appropriate must be determined with the Statement of Significance below, regardless of what other policies or guidelines are applied to the district's management.

The Old Town Lunenburg Heritage Conservation District Statement of Significance was written considering the heritage values identified in extant municipal, provincial, national, and international designations (See Section 11.3 of this Plan).

Old Town Lunenburg Heritage Conservation District Statement of Significance

Description:

Old Town Lunenburg Heritage Conservation District is located on Nova Scotia's South Shore in the Town of Lunenburg in Mi'kma'ki, traditional unceded Mi'kmaq territory. It includes approximately 44.1 hectares bounded by Kaulback Street, Kissing Bridge Road, Kempt Street, and Lunenburg Harbour's Waterfront. It also consists of a 47.5-hectare transition area, stretching West along Lincoln Street, South along Falkland Street, and East along Blockhouse Hill Road, Lincoln Street, Pelham Street, and Montague Street. The district comprises the Town's original urban core and approximately 550 civic, commercial, and residential buildings, in addition to engineering works, monuments, parks, and public spaces. Founded in 1753 to plans by Surveyor General Charles Morris, Old Town Lunenburg retains its original grid plan and continues to function following Morris's layout. A rich vernacular architectural tradition profoundly shaped by Lunenburgers' connections to the sea, especially the offshore fishery, complements Morris' vision, filling in the Town's regular blocks. Today, Lunenburg's vernacular architectural tradition continues, and the Town maintains close cultural and economic ties to the Atlantic through a combination of new and historic marine-related activities.

Heritage Value:

Old Town Lunenburg is recognized as a Municipal Heritage Conservation District because it is:

- The best-preserved example of a planned colonial settlement in North America;
- Home to a well-preserved continuing vernacular architectural tradition; and
- An exceptional example of a culture based on, and an urban community designed for, marine activities.

Character-Defining Elements:

Elements that evidence British colonial planning, in particular surveyor General Charles Morris's design, include:

- The geometrically regular gridiron plan comprising seven north-south streets, 48 feet wide (except for King Street, which is 80 feet wide), intersected at right angles by nine east-west streets, each 40 feet wide;

- The lack of encroachment into the streets mentioned above, providing unobstructed north-south and east-west sightlines;
- The minimal setbacks of structures from the street visually reinforcing the street plan's regularity and rectilinearity;
- Old Town's topography, especially its steep streets that evidence a Morris's commitment to using a rectilinear grid plan regardless of the Town's sloping site;
- The distinction between urban and non-urban areas;
- The grandeur of King Street, including its width relative to other North-South streets (50% increase in width) and its location relative to public space, marking the middle of the four public lots set aside for public functions in Morris' original plan;
- Archaeological remains of Old Town Lunenburg's original fortifications;
- Unobstructed views over Old Town Lunenburg Heritage Conservation District and out towards Lunenburg Harbour from the location of the Town's four original blockhouses;
- Physical attributes that delimit the four blocks that Morris set aside for public use, including:
 - The siting of the four blocks in the centre of Old Town, marking their importance;
 - The exclusion of non-civic buildings and functions from these four blocks;
 - The lower density of buildings on these four blocks relative to the surrounding contiguous and near-contiguous residential and commercial structures;
 - The public landscaped grounds between public buildings;
 - The scale of public and civic buildings, approximately four and a half storeys in height (approximately 16 metres), signalling their importance relative to surrounding commercial and residential buildings of approximately one and a half to three storeys in height (approximately 5 meters to 11 meters);
 - The intactness of these four blocks compared to the other blocks in the district, which were initially divided into 40-foot by 60-foot lots. The lots in blocks outside the four civic blocks have continued to evolve to meet the needs of property owners;
 - Landmark public buildings, including St. John's Anglican Church, Lunenburg Town Hall, and the Armouries; and
 - Physical elements at the centre of public activities, such as memorials; and
- Its continued social and economic functioning along Charles Morris' original plan, in particular:
 - The civic area's continuing civic and public functions, which includes public use of structures and the open spaces between and surrounding structures.

Elements that evidence and support Lunenburg's continuing vernacular architectural tradition include:

- Adaptations of imported styles, especially those fashionable in settlers' home countries, such as, but not limited to Georgian, Classical, Gothic, Second-Empire, and Dutch Colonial - Throughout Lunenburg's history, styles and architectural conventions have been adapted to the local environment and culture. This includes any evidence of accommodating local terrain, using local materials, changing decorative schema to reflect local values, and adapting trends to better suit the local climate;

- Wooden construction and decoration, reserving stone and brick for select public and civic buildings, including wooden windows, trim, and clapboard and shingle cladding;
- Architectural elements unique to Lunenburg, especially the 'Lunenburg Bump' in all its iterations;
- Refined carpentry skills, especially those derived from marine-related industries such as vessel construction; and
- Individual vernacular structures, including but not limited to vernacular
 - Marine buildings and engineering works;
 - Public, Civic or Institutional buildings;
 - Commercial buildings;
 - Residential buildings;
 - Ecclesiastic buildings; and
 - Outbuildings.

Elements that evidence Lunenburg's historical and continued cultural and economic relationship with the Atlantic, especially the offshore fisheries, include:


- Old Town Lunenburg Heritage Conservation District's location on Lunenburg Harbour;
- The working waterfront's continual use in support of the fisheries, shipbuilding and retrofitting, and other marine-industrial activities;
- Waterfront warehouses and other buildings that reflect Lunenburg's history of economic dependence on the shipbuilding and fishing industries, especially Marine vernacular buildings;
- The interrelationship between buildings, spaces, structures, and the harbour, illustrating the functional nature of the waterfront associated with marine, shipbuilding and fishery activities;
- The Fishermen's Memorial and Fishermen's Memorial Ceremony; and
- Clear sightlines down North-South streets that visually connect the commercial-residential and civic areas to Lunenburg Harbour.

3.2 Boundaries

Policy 6: It is Council's policy that the Old Town Lunenburg Heritage Conservation District Plan and By-law apply to all lands within the boundary identified on Map 1 Old Town Lunenburg Heritage Conservation District Boundary in Appendix B.

If Old Town Lunenburg Heritage Conservation District's heritage value is to be conserved, the character-defining elements necessary to maintain its integrity must fall within the district's boundaries. The boundaries in this Plan and By-law include all the features and processes that convey the district's significance. It corresponds to Charles Morris' plan, with the addition of a transition or buffer area rearranged, in part, to capture the archaeological remains of the original fortifications. The boundary of the Heritage Conservation District has also been amended to better reflect the UNESCO boundary and size of the UNESCO buffer zone. Notice was duly given to affected property owners, who had the opportunity to be heard by Council.

Policy 7: It is Council's policy to establish the following heritage character areas within Old Town Lunenburg Heritage Conservation District as shown on Map 2 Old Town Lunenburg Heritage Character Areas in Appendix C:

- 
- The Waterfront Area
 - The Civic Area
 - The Commercial Area
 - The Residential Area
 - The Transition Area

Policy 8: It is Council's policy to include in the Old Town Lunenburg Heritage Conservation District By-law guidelines on the treatment of each of the heritage character areas.

The above-listed heritage character areas have been created to clarify and geo-locate character-defining elements that testify to Lunenburg being the best-preserved example of a planned colonial settlement in North America as well as its historical and continued cultural and economic relationship with the Atlantic. The four blocks Charles Morris put aside for public use in his 1753 plan make up the Civic Area. The Waterfront Area corresponds to Old Town Lunenburg's working waterfront and has the greatest concentration of Marine vernacular structures. The rest of Lunenburg's original colonial Town is in the Commercial-Residential Area. Each area has different conservation requirements to ensure the integrity of the Town's plan and, in the Waterfront Area, to facilitate continued marine activity. The Transition Area or Buffer includes avenues linking Old Town Lunenburg Heritage Conservation District to the wider municipality. This area is minimally regulated so as not to unduly stymie development. Again, conservation requirements for each area are elaborated in the Old Town Lunenburg Heritage Conservation District By-law.

3.3 Character-Defining and Supporting Structures


Policy 9: It is Council's policy to adopt Map 3 character-defining, locally significant and supporting structures as shown in Appendix D and the accompanying list of character-defining, locally significant and supporting structures in Appendix E.

Policy 10: It is Council's policy to include in the Old Town Lunenburg Heritage Conservation District By-law provisions on the treatment of character-defining and locally significant versus supporting structures.

Policy 11: It is Council's policy to review the list of character-defining, locally significant and supporting structures (Appendix E) periodically to determine whether any new construction warrants inclusion.

A list and map of character-defining and locally significant versus supporting structures have been prepared to clarify what buildings testify to Lunenburg's outstanding vernacular architectural tradition. Conservation requirements for character-defining and locally significant versus supporting structures are outlined in the Old Town Lunenburg Heritage Conservation District By-law. Any structure built after the enactment of this Plan and By-law will automatically be a supporting building unless otherwise decided by Council through an amendment to the list of character-defining, locally significant and supporting structures.

The individual structures that evidence and support Lunenburg's continuing vernacular architectural tradition vary in age, size, and programme. Some are public, while most are privately owned. Each



building is unique, has evolved differently over time, and faces its own challenges. The district's richness lies, in part, in this variety. There is no 'typical' Lunenburg building, and decisions must be made on a case-by-case basis. However, a built form analysis was conducted to understand better how different structures contribute to Old Town Lunenburg's heritage value, where structures were analyzed by programme, age, and style. Character-defining structures were divided into marine-industrial, commercial, residential, civic, and ecclesiastic vernacular buildings. Changes to civic and ecclesiastic character-defining structures and locally significant structures must be led by their individual statements of significance (Policy 5 Appendix F).

Other buildings that do not sustain the heritage values for which the district is recognized but nevertheless have significant local heritage value are identified under the category locally significant structures. In addition to overarching guidelines regulating Old Town Lunenburg's built fabric, specific conservation guidelines have been prepared for each building type. This helps clarify expectations and ensure consistency and speedy decision-making.


4 Conservation Approach

4.1 Ensuring Best Practice

Policy 12: It is Council's policy to follow exemplary approaches to heritage conservation in Old Town Lunenburg Heritage Conservation District and support property owners in achieving conservation best-practice.

Old Town Lunenburg Heritage Conservation District is a site of Outstanding Universal Value. The Town of Lunenburg is committed to conserving it in line with best practices as agreed upon locally, nationally, and internationally. To ensure the Heritage Officer is as thorough as possible in their evaluations and that all policies and procedures pertaining to the district align with current best practices, the Town of Lunenburg has used widely respected guidelines and principles most relevant to Lunenburg's heritage values and character-defining elements in preparing this Plan. This Plan and By-law tailor high-level documents to Lunenburg's unique needs and conditions so that Council Members, Town Staff, and residents can rest assured they are making sound conservation decisions without referring to documents beyond this Plan and By-law. This includes:

- UNESCO's World Heritage Committee's *Budapest Declaration* (2010)
- UNESCO's Recommendation on the Historic Urban Landscape (2011)
- The International Council on Monuments and Site's (ICOMOS) *Charter on the Built Vernacular Environment* (1999)
- ICOMOS's *Charter on the Interpretation and Presentation of Cultural Heritage Sites* (2008)
- ICOMOS's *Valletta Principles for the Safeguarding and Management of Historic Cities, Towns and Urban Areas* (2011)
- ICOMOS and The International Committee for the Conservation of the Industrial Heritage's *Principles for the Conservation of Industrial Heritage Sites, Structures, Areas, and Landscapes* (2011)
- ICOMOS's *Principles for the Conservation of Wooden Built Heritage* (2017)

- 
- The *Standards and Guidelines for the Conservation of Historic Places in Canada* second edition (2010), a federal, provincial, and territorial collaboration

This Plan and By-law were written so that no one would need to refer to outside sources for guidance, though this may be necessary from time to time. The hope is that this tailor-made, comprehensive Plan and By-law will empower the Heritage Officer, Council, and Committees to make decisions promptly.

4.2 Standards

Policy 13: It is Council's policy that implementation of the Old Town Lunenburg Heritage Conservation District By-law will be guided by the Standards below.

The conservation of Old Town Lunenburg Heritage Conservation District will be guided by the standards below, which draw heavily from the above-listed widely respected documents (see Section 4.1 of this Plan). The Old Town Lunenburg Heritage Conservation District By-law empowers the Heritage Officer to review Certificate of Appropriateness applications against the following:

Minimal Intervention – Old Town Lunenburg is an irreplaceable cultural inheritance. Once historic fabric is lost, it cannot be recovered. As such, interventions must be undertaken with the utmost care to minimize the loss of historical evidence and heritage value. This includes balancing evolution and preservation, so the district does not lose its integrity. Intact or repairable character-defining elements should not be demolished, removed, replaced, or substantially altered.

Compatibility – Development within Old Town Lunenburg Heritage Conservation District is not prohibited but must be visually and physically compatible with the district's heritage values. New buildings must harmonize with surrounding character-defining structures. New structures and additions to extant structures must complement, without directly copying historic structures.

Legibility – Each character-defining element in the district is a physical record of its time, place, and use. The Town must protect that record by maintaining the district's authenticity. Changes within the district, including to individual structures, must be legible and should be thoroughly documented. Reconstruction and adding or combining elements from other historic places, other properties within the district or features of the same property that never coexisted creates a false sense of history and is unacceptable.

4.3 Conservation Approach


Policy 14: It is Council's policy to conserve all character-defining elements within Old Town Lunenburg Heritage Conservation District, including the transition area.

Old Town Lunenburg Heritage Conservation District has a unique blend of heritage values that require different conservation approaches to ensure their authenticity and integrity. The Old Town Lunenburg Heritage Conservation District By-law has been written to ensure the district's conservation along the



standards above (see Section 4.2 of this Plan) by regulating and promoting best practices as outlined below.

HERITAGE VALUE	PRINCIPLES
<p>PLANNED COLONIAL SETTLEMENT</p> <p><i>The best-preserved planned colonial settlement in North America</i></p>	<p>Approach: The best-preserved planned colonial settlement in North America, Old Town Lunenburg is a designed cultural landscape. Preserving design intent significantly outweighs the potential loss of existing, non-character-defining materials, features, and spaces from other periods. Preservation and restoration are the most appropriate treatments for character-defining elements testifying to this heritage value.</p> <p>Implementation: Under the By-law, street encroachment, grading, and sightlines, and building heights, density and setbacks are regulated, with different heritage character areas having different criteria. While a viable use better guarantees the long-term existence of a historic structure, when functions are a part of a site’s heritage value, every effort should be made to retain that use. As such, while adaptive re-use is not prohibited under the By-law, adaptive re-use will only be encouraged when it supports the intent of the colonial plan. Every effort must be made to retain the civic area’s public function. Public functioning includes the provision of public services and public access. Limiting barriers to participation in the civic area is particularly important. This aligns with the Town of Lunenburg’s Land Use By-law (see Section 11.2 of this Plan).</p>
<p>VERNACULAR ARCHITECTURE</p> <p><i>Home to a well-preserved continuing vernacular architectural tradition</i></p>	<p>Approach: Conserving Lunenburg’s unique vernacular architecture requires two almost contradictory approaches. First, character-defining vernacular structures must be preserved. Second, as a living tradition, neo-vernacular construction must be encouraged. Any physical work on a vernacular structure listed as character-defining under this Plan and By-law should be cautious and preceded by a consideration of the building’s form and structure.</p> <p>Implementation: Interventions on character-defining and supporting structures and new construction within the district are regulated under the By-law’s Conservation and Design Guidelines. This includes regulating size, form, massing, style and materiality</p>



of alterations, additions, and new construction. A one size fits all approach is not adequate for conserving the variety of Lunenburg's vernacular architecture. As such, character-defining structures are regulated through both overarching and building type-specific guidelines.

Changes over time should be appreciated and understood as important aspects of vernacular architecture. Conformity of all parts of a building to a single period should not be the goal of work on vernacular structures. Thus, restoration will not be considered an appropriate treatment for character-defining structures except under exceptional circumstances.

Buildings should be preserved rather than rehabilitated. Owners are encouraged to rehabilitate or add onto vernacular structures over substantially altering a building's historic fabric. The construction of an exterior addition may seem essential but, if insensitive, can significantly detract from a heritage site. Therefore, new additions should be avoided, if possible, and only considered after it is determined that needs cannot be met by, for example, altering secondary, non-character-defining interior spaces.

Additions should be designed so that the heritage value of the historic place is not impaired, and its character-defining elements are not obscured, damaged, or destroyed. When adaptive re-use will result in minimal material intervention to commercial and residential character-defining structures, it will be encouraged. Alterations and additions to character-defining structures will be permitted provided they do not destroy or substantially alter significant architectural features of character-defining structure and if they are designed and constructed to be visually, materially, and stylistically compatible with the architectural character of the structure. This does not mean that alterations and additions to existing buildings must be built as replicas of historic styles but does mean that they must embody architectural characteristics that relate to Lunenburg's building types and fit within the context of neighbouring character-defining structures. Additions and alterations should not contrast sharply with extant buildings but be legible upon close inspection. Additions are always preferable to irreversibly altering large expanses of extant historic fabric. It is better to add onto than erase history.

Standalone construction, including new buildings, outbuildings, structures, fences, or signs within the district, must be physically and visually compatible with, subordinate



to, and distinguishable from surrounding character-defining structures. Additions, alterations, and new construction should incorporate traditional materials, construction techniques and skills wherever possible. Architectural diversity is encouraged. No two developments should be identical.

Buildings components of character-defining structures should be maintained and repaired rather than replaced. Wood is a resilient material, but it is not uncommon to need to replace elements from time to time. So long as a physical prototype exists, deteriorated elements should be replaced in-kind.

MARINE CULTURE

An exceptional example of a culture based on, and an urban community designed for, marine activities

Approach:


While, as an embodiment of colonial planning, Old Town Lunenburg is a designed cultural landscape, it is also an evolving cultural landscape. Old Town Lunenburg is home to an evolving marine tradition, including a changing fishery. This marine tradition is foundational to the district's integrity such that both historic and contemporary evidence of marine culture are character-defining elements of the district. Features that express or support a past or continuing traditional practice require special attention because the Heritage Officer must balance allowing continued marine activities and preserving marine-industrial character-defining buildings that testify to Lunenburg's rich fishing and shipbuilding history.

Implementation:

Balance is achieved through a mixture of regulations pertaining to the Waterfront Area and marine-industrial character-defining structures.

While a viable use better guarantees the long-term existence of a historic structure, every effort should be made to retain functions that are in themselves character-defining elements. As such, while adaptive re-use is not prohibited under the By-law, adaptive re-use will only be encouraged within the Waterfront Area when it supports marine activity. While adhering to a minimal intervention approach, alteration to allow for continued marine use will be prioritized within the Waterfront Area. The Heritage Officer may also advise guideline leniency for preservation and rehabilitation proposals in the Waterfront Area that demonstrate their positive contribution to the continuation of traditional Lunenburg marine activities.

Features that support traditional practices should be



maintained, repaired, and restored using recognized conservation methods. Where possible, conservation work should be undertaken using traditional techniques.

5 Equity and Inclusion

Policy 15: It is Council's policy to recognize Old Town Lunenburg Heritage Conservation District's location on the unceded territory of the Mi'kmaq people.

Policy 16: It is Council's policy that commemoration is not synonymous with celebration and to explore, with partners, addressing the colonial basis of Old Town Lunenburg Heritage Conservation District's heritage recognition and history, including alternative histories.

Old Town Lunenburg Heritage Conservation District is internationally recognized as the best-preserved planned colonial settlement in North America. Yet commemoration is not commensurate with celebration. Colonialism is a historical fact and a story that should be told. However, the Town of Lunenburg does not condone the subjugation of Indigenous nations. Council seeks to present overlooked histories as apart from and a part of the district's story.


Policy 17: It is Council's policy to make Old Town Lunenburg Heritage Conservation District inclusive and safe for peoples of all backgrounds, including for disabled persons and people with disabilities. Council will seek solutions and best practices for balancing inclusive design and the conservation of character-defining elements within the district.

Providing people of all ages, interests, and abilities with access to the district and its properties is a priority. Council supports solutions that provide the highest level of access with the lowest level of heritage impact. To determine the most appropriate solutions, accessibility and conservation specialists and users should be consulted early in the planning process. Accessibility and conservation specialists and users should work together towards creative solutions.

6 Sustainability

Policy 18: It is Council's policy to consider, with partners, the development and maintenance of a monitoring plan regarding the impacts of climate change on Old Town Lunenburg Heritage Conservation District.

Policy 19: It is Council's policy to encourage alternative energy-generating and green technologies within Old Town Lunenburg Heritage Conservation District in compliance with the Old Town Lunenburg Heritage Conservation District By-law.



Policy 20: It is Council's policy to, with partners, explore increasing the energy efficiency of both character-defining and supporting structures within the district in compliance with the Old Town Lunenburg Heritage Conservation District By-law.

Climate change's physical effects (for example, sea-level rise, temperature, and humidity levels, accelerated coastal and hillside erosion and more frequent and intense storm events) and mitigation measures meant to address climate change (for example, energy efficiency measures and green technology adoption) stand to erode the district's integrity. Climate change threatens each heritage character area and individual structures within the district. Strategies must be explored to address this threat, such as monitoring climate-related changes and pursuing creative mitigation solutions. However, these strategies must be adapted to conserve the district's unique heritage value, finding ways to comply with green objectives in ways that minimizes impact on character-defining elements. This may include developing additional policies surrounding window replacement and incorporating green technologies like solar panels, micro wind turbines, and smart windows in the district. Council will seek ways for residents to benefit from all climate change reduction and mitigation programmes while fulfilling its responsibility to conserve the district.

7 Community and Capacity Building

Conserving a heritage district requires more than brick-and-mortar interventions and regulations. It also requires preserving traditional knowledge and skills, maintaining understanding and support of the site's value and conservation, ensuring cultural vitality, and empowering Lunenburg residents to implement this Plan and By-law.

7.1 Protecting Traditional Skills

Policy 21: It is Council's policy to explore best practices around promoting and protecting skills and trades related to the maintenance and creation of Lunenburg vernacular architecture and marine culture.

Traditional building systems and craft skills are essential to repairing and restoring vernacular structures and sustaining our marine culture. It is also paramount to continuing Lunenburg's vernacular architectural tradition through new developments. Thus, these skills should be retained, recorded, and passed on to new generations of artisans and builders through education and training.

7.2 Increasing Awareness

Policy 22: It is Council's policy to, with partners, effectively communicate Old Town Lunenburg Heritage Conservation District's value to residents and visitors.

The longevity of Old Town Lunenburg Heritage Conservation District requires ongoing understanding and support of the district's value and conservation. It is Council's policy to, with partners, promote and improve access to district interpretation wherever and whenever



practicable, especially amongst underserved communities and younger generations. Council seeks to present overlooked histories as apart from and a part of the district's story (see Section 5 of this Plan).

7.3 Building Community Capacity

Policy 23: It is Council's policy to pursue, with partners, training for Council, staff, the Heritage Advisory Committee, and district residents on heritage conservation, especially knowledge and skills related to the successful implementation of this Plan and By-law.

Policy 24: It is Council's policy to, with partners, effectively communicate the Town's Old Town Lunenburg Heritage Conservation District management strategies to owners and tenants, including its regulation.


UNESCO and ICOMOS have given clear direction to empower communities to guide heritage management. Empowerment is vital for conserving Old Town Lunenburg Heritage Conservation District, whose heritage value rests on local traditions, knowledge, skills, and culture. Council, with partners, will pursue training to bridge any knowledge gaps surrounding heritage management best practices so residents can lead the district's conservation in line with nationally and internationally agreed-upon standards. This training may include exploring education programmes and networks related to Old Town Lunenburg Heritage Conservation District's history, integrity, authenticity, heritage value, and character-defining elements. Council strives to ensure all property owners understand their duty to conserve Old Town Lunenburg under this Plan and By-law. This should include preparing accessible summary and illustrated versions of this Plan and By-law.

8 Research and Documentation

8.1 Research

Policy 25: It is Council's policy to, with partners, conduct and compile research on all aspects of Old Town Lunenburg Heritage Conservation District's history and conservation to ensure the district's authenticity now and into the future.

Council seeks to encourage high-quality research on the district's history and management to ensure truthfulness and avoid falsifying history. In the past, the district's recognition and management, including identifying character-defining elements at different levels of government, has been based on cursory or spurious research. This lack of historical rigour is detrimental to the authenticity of the district. Research will adhere to professional standards, including triangulating data such as archival documents, period photographs, site surveys and oral histories. Research priority areas include fencing, outbuildings, lighting, street furniture, exterior paint colors, Old Town's Outstanding Universal Value, the Town's responsibilities relative Old Town's World Heritage listing, and best practices at other World Heritage districts.



Policy 26: It is Council's policy to, with partners, prepare Statements of Significance for character-defining structures within Old Town Lunenburg Heritage Conservation District to clarify the impact of different interventions and ensure the district's authenticity now and into the future.

Old Town Lunenburg's vernacular architecture is exceptionally diverse. While high-level guidance is essential, one cannot capture all the nuances of the district's architectural significance in a single overarching document. Furthermore, a fine-grained understanding of the district's building stock would help town staff implement a value-based approach from the macro to the micro level and gauge the impact of development proposals. Individual Statements of Significance for character-defining properties would thus add clarity and consistency to decision-making and, in turn, speed up the permitting process to enable the district to develop sensitively and thrive.

8.2 Documentation

Policy 27: It is Council's policy to develop guidelines on documenting the history and evolution of Old Town Lunenburg Heritage Conservation District and amend the Old Town Lunenburg Heritage Conservation District By-law accordingly.

Vernacular architecture skills and knowledge are often transmitted informally from generation to generation. Vernacular architecture traditions, crafts, and buildings are often undocumented, so historic vernacular buildings are the best primary evidence to understand this history. As such, any physical work on a vernacular structure should be cautious and preceded by a thorough analysis of the building's form, construction, and decorative details. Council intends to develop documentation guidelines for Old Town Lunenburg Heritage Conservation District, capturing changes to the district moving forward towards maximizing the district's authenticity.

8.3 Heritage Registry

Policy 28: It is Council's policy to create a publicly accessible heritage registry containing information related to Old Town Lunenburg Heritage Conservation District.

To empower citizens to act as good stewards, the Town of Lunenburg will establish a publicly accessible municipal heritage registry overseen by the Town's Heritage Officer. The registry may include, amongst other things, documentation, historical research and this Plan and By-law. All documentation on the history and management of the district should be added to the registry as it becomes available in compliance with copyright and privacy rights and regulations.



9 Incentives and Threat Mitigation

9.1 Ensure Community Vitality

Policy 29: It is Council's policy to, with partners, stimulate economic growth towards preserving Old Town Lunenburg's working waterfront and its evolving marine-related industries.

Old Town Lunenburg has a rich marine history, especially that of its offshore fishery and shipbuilding prowess. Marine-related activities, particularly marine industries, are essential to Old Town Lunenburg Heritage Conservation District's heritage value and the Town of Lunenburg's identity and must be preserved.

9.2 Encourage Compatible New Construction

Policy 30: It is Council's policy to encourage new development that is sensitive in scale, design, placement and use to the physical and community fabric of Old Town Lunenburg Heritage Conservation District.

Policy 31: It is Council's policy to explore sensitive infill incentives to ensure vernacular design and construction continue in Old Town Lunenburg Heritage Conservation District.


Recognizing that the continuation of Lunenburg's vernacular architecture tradition is integral to its heritage value, Town Council wishes to support appropriate development in Old Town Lunenburg Heritage Conservation District. Much has been achieved to create a favourable environment for development through other instruments like the *Comprehensive Community Plan*, *Municipal Planning Strategy* and *Land Use By-law*. The Old Town Lunenburg Heritage Conservation District By-law clarifies expectations surrounding acceptable new construction in Old Town Lunenburg Heritage Conservation District. Council will also explore mitigation measures against demolition by neglect and land speculation (see Section 9.5 of this Plan).

9.3 Incentivize Conservation

Policy 32: It is Council's policy to consider establishing financial supports for residents conserving properties in the district.

Heritage conservation aims to ensure the future of historic places by preserving heritage value and character-defining elements. Unfortunately, using traditional materials and building techniques that typically result in greater longevity and less waste can mean high upfront costs. Contracting specialist designers, artisans and labourers, essential to maintaining Lunenburg's vernacular architectural tradition, can also require a significant initial investment.

These upfront costs can place a financial strain on residents. As such, Council will explore incentive programmes and tailor them to the goal of this Plan and By-law to conserve Old Town Lunenburg and



the tools available to the Town. Upfront costs, the amortization of expenses over time, the impact on the local economy, and the property tax increase will all be considered in determining appropriate terms for a potential incentive program.

9.4 Allow Alternate Building Code Compliance

Policy 33: It is Council's policy to support Alternate Building Code Compliance Methods and Performance Based Equivalencies under the *Nova Scotia Building Code Regulation* within Old Town Lunenburg Heritage Conservation District, when required but not limited to universal accessibility, energy efficiency, and fire safety.

Building code requirements can create situations where compliance with the code conflicts with the requirements of this Plan and By-law. Alternate compliance methods and performance-based equivalencies to *the Nova Scotia Building Code Regulations* are encouraged when this conflict occurs.

9.5 Deter Non-Compliance and Other Threats

Policy 34: In the event of any contravention of the provisions of this Plan and By-law, it is Council's policy to act under Section 25 of the *Heritage Property Act*.

Old Town Lunenburg Heritage Conservation District's current integrity is a testament to generations of Lunenburgers' tireless stewardship. Together, the Town and residents conserve the district on behalf of all Canadians and the global community. However, the Town must be prepared to address non-compliance and negative behaviour. Therefore, the Town may impose financial penalties on any party who contravenes or fails to comply with the Old Town Lunenburg Heritage Conservation District By-law through the courts pursuant to Section 25 of the *Heritage Property Act*.

Policy 35: It is Council's policy to explore ways to deter demolition by neglect and land speculation.

Beyond non-compliance, two additional threats plague Old Town Lunenburg Heritage Conservation District. The first is the potential for demolition by neglect. Demolition by neglect is the holding of historic property, allowing structures to deteriorate, often not undertaking even minimal maintenance, in the hopes that a property's dilapidated condition will result in permission from Council to demolish or remove a historic structure. The second threat is land speculation, the purchasing of vacant land and leaving it undeveloped. Vacant lots in the district erode the original colonial plan's integrity. It also stymies the district's vitality and the continuation of Lunenburg's vernacular architecture tradition by preventing neo-vernacular development. Council will explore conservation supports (see Section 9.3 of this Plan) and ways to incentive sensitive new development within the district (see Section 9.2 of this Plan) but will also explore deterrents to demolition by neglect and land speculation.



10 Implementation

10.1 Certificates of Appropriateness

Policy 36: It is Council's policy to require a Certificate of Appropriateness for new constructions and to alter the exterior of structures within the Heritage Conservation District. A list of items requiring a Certificate of Appropriateness will be included in the Old Town Lunenburg Heritage Conservation District By-law.

Policy 37: It is Council's policy to exempt select interventions, such as regular maintenance, from needing a Certificate of Appropriateness. A list of exempted interventions will be included in the Old Town Lunenburg Heritage Conservation District By-law.

Regular maintenance is essential to conserving the district. Maintenance does not require a Certificate of Appropriateness so it is easier for owners to keep up their properties. Certificates of Appropriateness for significant interventions such as construction and alterations will be issued in accordance with the Old Town Lunenburg Heritage Conservation District By-law and this Plan's intent, standards, and conservation approach.

10.2 Heritage Officer


Policy 38: It is Council's policy to appoint a Heritage Officer who is responsible for the administration of this Plan and By-law and issuing Certificates of Appropriateness.

Policy 39: It is Council's policy that the Heritage Officer must issue a decision on applications for a Certificate of Appropriateness within thirty (30) days of receiving a complete application in compliance with the Old Town Lunenburg Heritage Conservation District By-law.

The Heritage Officer will pursue the policies of this Plan and issue Certificates of Appropriateness in accordance with the Heritage Conservation District By-law and this Plan's intent, standards, and conservation approach.

The Heritage Officer may place conditions on a Certificate of Appropriateness in order to accomplish the objectives of this Plan including, but not limited to:

- Documentation requirements;
- The salvaging of specific architectural features, for example, mouldings, brackets, doors, and windows;
- Provisions to protect nearby character-defining structures from accidental damage; and
- When approving an application to demolish or remove a character-defining structure:
 - The timeframe for constructing a replacement structure;

- 
- The timeframe for removing rubble and wasted materials
 - Landscaping requirements; and
 - Requirements around screening unsightly aspects of the property.

Policy 40: It is Council’s policy that the Heritage Officer may, at their discretion, engage an independent technical advisor to comment on select proposals on a case-by-case basis.

Policy 41: It is Council’s policy that the Heritage Officer may, at their discretion, refer any proposal requiring a Certificate of Appropriateness to the Heritage Advisory Committee for comment.

This Plan and By-law clarifies the Town’s conservation approach, tailoring best practices to the district’s unique circumstances. However, no one can foresee all the pressures the district may face and what issues and decisions may arise. Therefore, the Heritage Officer can refer proposals to external technical advisors and the Heritage Advisory Committee for guidance. This should only happen in exceptional circumstances.

While the Heritage Officer may refer any application received under the Old Town Lunenburg Heritage Conservation District By-law to an independent expert or the Heritage Advisory Committee, the Heritage Officer is directed by Council to pay extra consideration to:

- Applications to substantially alter a character-defining structure, including but not limited to additions greater than 25% of the existing building’s footprint;
- Applications to construct new public or commercial buildings; and
- Proposals where heritage values or the treatment of character-defining elements appear to be in conflict, such as continued use versus the preservation of historic fabric.

10.3 Heritage Advisory Committee and Public Hearings

Policy 42: It is Council’s policy to establish a Heritage Advisory Committee under the Nova Scotia *Heritage Property Act* (1989), in keeping with the Town’s *Heritage Property By-law*, to review changes to this Plan and By-law and applications to demolish or remove character-defining structures or any other application referred to them by the Heritage Officer.

Policy 43: It is Council’s policy that applications to demolish or remove a character-defining or locally significant structure must be referred to the Heritage Advisory Committee, public hearing, and Council.

Policy 44: It is Council’s policy that, when a public hearing is required, every effort will be made so the Heritage Advisory Committee will review the development within thirty (30) days of receipt of the complete application by the Heritage Officer. Every effort will be made such that Council considers the development within thirty (30) days of the Heritage Advisory Committee



rendering their recommendation. The Heritage Officer may issue or deny a Certificate of Appropriateness within thirty (30) days per Council's decision.

Council wishes to focus the Heritage Advisory Committee's efforts on heritage-related policy issues. It also wants to ensure community involvement in heritage decision-making in alignment with UNESCO's strategic priorities while lessening the administrative burden on the Town and property owners. As such, a new, streamlined review process has been developed. Applications to demolish or remove character-defining structures must be referred to the Heritage Advisory Committee and Council per the *Heritage Property Act*. The Heritage Officer will review applications to alter property within Old Town Lunenburg Heritage Conservation District and determine if they need to be referred to the Heritage Advisory Committee for review.

The Heritage Advisory Committee will not recommend, and Council will not approve, an application to remove or demolish a character-defining structure unless there is irreversible structural damage to the building or structures. Council and the Heritage Advisory Committee may consider the following when evaluating applications:

- The application to demolish and remove and the design of any replacement structure;
- The impact of the proposal on the heritage values and character-defining elements of Old Town Lunenburg Heritage Conservation District;
- The advice of the Heritage Officer; and
- The advice of any external advisor, as applicable.

Council should also consider the Public Hearing comments.

Note that poor physical condition alone will not be considered a sufficient reason to approve applications for demolition or removal unless the applicant can prove irreversible structural damage. This threshold is clarified in the Old Town Lunenburg Heritage Conservation District By-law.

Council, when a public hearing is required, may place conditions on a Certificate of Appropriateness including, but not limited to:

- Documentation requirements;
- The salvaging of specific architectural features, for example, mouldings, brackets, doors, and windows; and
- When approving an application to demolish or remove a character-defining or supporting structure:
 - The timeframe for constructing a replacement structure, if any;
 - The timeframe for removing rubble and wasted materials;
 - Landscaping requirements; and
 - Requirements around screening unsightly aspects of the property.

While supporting a participatory planning process, Council does not want to hold up development unnecessarily. Therefore, Council directs Town staff to receive independent advice and Heritage Advisory Committee advice and undertake public hearings in a timely manner, except in exceptional circumstances.



10.4 Improving Implementation

Policy 45: It is Council's policy to strive to improve the implementation of this Plan and By-law, including record-keeping, expertise, monitoring, expediting processes and enforcement.

A Plan and By-law is meaningless if not properly implemented. Poor implementation also erodes public trust. Improving this Plan and By-law's implementation may include initiatives like:

- *Investing in Administration:* Seek funding for conservation efforts, including appropriate staffing to implement this Plan and By-law, whether cash or in-kind services.
- *Enhancing Historical Record-Keeping:* Establish a comprehensive system to document and preserve important commitments and policy decisions related to heritage management. Record precedents to ensure consistent decision-making. Develop orientation and training programs, provide access to historical documentation, and foster a culture of institutional knowledge sharing.
- *Strengthening Expertise:* Review and enhance staff expertise. Develop new evaluation criteria for selecting and evaluating consultants and other contractors involved in the Town's heritage management. Implement a thorough evaluation process to assess consultants' suitability for specific projects and monitor their performance.
- *Monitoring and Evaluating Success:* Implement a monitoring and evaluation framework to assess the effectiveness of heritage efforts. Regularly review and update plans policies and programs based on public feedback and changing needs. Solicit public feedback, conduct consultations, and involve community stakeholders more regularly.
- *Streamlining and Expediting Processes:* Identify bottlenecks causing long wait times and streamline procedures.
- *Prioritizing Compliance:* Monitor and enforce compliance with Old Town Lunenburg Heritage Conservation District By-law. Conduct inspections and follow-ups on reported violations.

11 Alignment with other By-laws and Plans

11.1 Comprehensive Community Plan

Policy 46: It is Council's policy to align this Plan and By-law with the Town of Lunenburg's *Comprehensive Community Plan* such that this Plan and By-law supports the Town's broader strategic objectives.

The Town of Lunenburg Comprehensive Community Plan sets the Town's long-range goals. The Comprehensive Community Plan identifies and encourages heritage conservation. This Plan and By-law is a direct result of Council's adoption of the Comprehensive Community Plan and Council's appreciation of heritage's importance in the Town of Lunenburg.

11.2 Land Use By-law

Policy 47: It is Council's policy to align this Plan and By-law with the Town of Lunenburg's *Land Use By-law* to ensure the conservation of Old Town Lunenburg Heritage Conservation District. However, in the event of a conflict between this Plan and By-law and the *Municipal Planning Strategy* and/or the *Land Use By-law*, the more restrictive provision shall apply.

The Old Town Lunenburg Heritage Conservation District Plan and By-law work harmoniously with the Town's *Municipal Planning Strategy* and *Land Use By-law*. This Plan's primary goal is to conserve the heritage values of Old Town Lunenburg Heritage Conservation District. However, the Nova Scotia *Heritage Property Act* does not empower Town Council to adequately protect all the district's heritage values, particularly property use and the need for cultural and economic vitality. Aligning this Plan and By-law with Lunenburg's *Land Use By-law* ensures the protection of these essential heritage values and elements and negates potential conflict between the two By-laws. In the event of a conflict between this Plan and By-law and the *Municipal Planning Strategy* and/or the *Land Use By-law*, the more restrictive provision shall apply.

11.3 Other Heritage Designations, Recognition, and Inscriptions

Policy 48: It is Council's policy to continue to apply the provisions of the *Heritage Property Act* to municipal heritage properties within Old Town Lunenburg Heritage Conservation District, as well as those located outside the district.

Old Town Lunenburg Heritage Conservation District is recognized through seventy-four designations. This multi-layered environment includes:

- Old Town Lunenburg Heritage Conservation District registered by the Town of Lunenburg under the Nova Scotia *Heritage Property Act* (1989) and amendments thereto;
- Sixty-one Municipal Heritage Properties registered by the Town of Lunenburg under the Nova Scotia *Heritage Property Act*;
- Seven Provincial Heritage Properties registered by the Province of Nova Scotia under the Nova Scotia *Heritage Property Act*;
- Four National Heritage Sites recognized by the Government of Canada under the *Heritage Sites and Monuments Act* (1984); and
- One World Heritage Site inscribed on the World Heritage list by the United Nations Educational, Scientific and Cultural Organization under the World Heritage Convention (1976).

The Town of Lunenburg has authority over the Old Town Lunenburg Historic District National Historic Site of Canada. The Statement of Significance (see Section 3.1 of this Plan) was developed to ensure the commemorative integrity of Old Town Lunenburg Historic District National Historic Site of Canada while ensuring the district's authenticity. National Historic Sites other than the Old Town Lunenburg Historic District National Historic Site of Canada – Knaut-Rhuland House, Lunenburg Academy, and St. John's Anglican - are protected through Provincial Heritage Property designations. Statements for Significance guide changes to ecclesiastic, civic, and locally significant character-defining structures (Appendix F).

11.4 Archaeological Resources

Policy 49: It is Council's policy to provide for the protection of archaeological heritage within Old Town Lunenburg Heritage Conservation District.

Policy 50: It is Council's policy to work collaboratively with Indigenous communities, external experts, archaeological associations, provincial authorities, and other relevant stakeholders, to develop By-law provisions addressing the protections of archaeological resources.

Council recognizes that Old Town Lunenburg Heritage Conservation District may have archaeological values related to the heritage values for which it is designated and the histories of earlier inhabitants. The Town of Lunenburg should work collaboratively to determine the best way to protect archaeological resources. This includes:

- **Defining Archaeological Resources:** Seek guidance from provincial legislation and national policies to establish a clear and comprehensive definition of archaeological resources specific to our municipality. This will ensure consistent understanding and interpretation among stakeholders.
- **Develop Protocols for Evaluation, Protection and Preservation:** Work closely with provincial experts and stakeholders to establish protocols for evaluating and mitigating the loss of archaeological remains, particularly on vacant lots that previously had buildings. These protocols should adhere to best practices, ensuring the appropriate identification, assessment, and protection of archaeological resources.
- **Incorporate Archaeology throughout the Town's Planning Framework:** Collaborate with experts and stakeholders to integrate archaeological considerations more comprehensively into this Plan and By-law and other municipal planning documents in the future. This includes acknowledging the significance of archaeological resources in relevant sections and ensuring appropriate references to provincial legislation and national policies.

The Town of Lunenburg will comply with the Nova Scotia *Special Places Protection Act* (1989) if it should be applied to properties within the district.

12 Amending This Plan

Policy 51: It is Council's policy that Council may amend this Plan and Old Town Lunenburg Heritage Conservation District By-law upon considering advice on the proposed changes from the Town of Lunenburg's Heritage Advisory Committee.



Appendix A: The World Heritage Convention Strategic Priorities

The “Five Cs” Strategic Objectives

**Credibility:**

Strengthen the Credibility of the World Heritage List, as a representative and geographically balanced testimony of cultural and natural properties of outstanding universal value.

**Conservation:**

Ensure the effective Conservation of World Heritage properties.

**Capacity-Building:**

Promote the development of effective Capacity-building measures, including assistance for preparing the nomination of properties to the World Heritage List, for the understanding and implementation of the World Heritage Convention and related instruments.

**Communication:**



Increase public awareness, involvement, and support for World Heritage through communication.

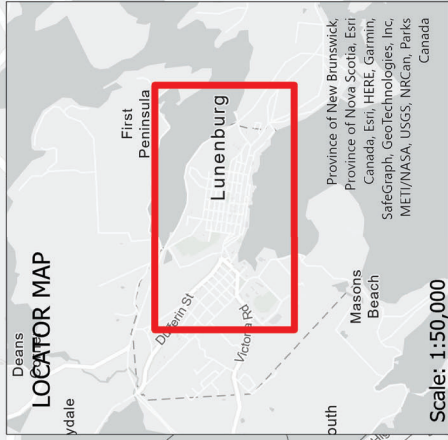
**Communities:**

Enhance the role of communities in the implementation of the World Heritage Convention.

APPENDIX B - Map 1 Old Town Lunenburg Heritage Conservation District Boundary

Legend

-  Properties
-  Old Town Lunenburg Heritage Conservation District



Scale: 1:50,000

Lunenburg
117.4 ha



Maps are for graphical purposes only. They do not represent a legal survey. The Town of Lunenburg cannot assume liability for any damages caused by any errors or omissions in the data. Users of our maps and other analysis products are solely responsible for interpretations made from these products.

TOWN OF LUNENBURG Heritage Conservation District - Map 1

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






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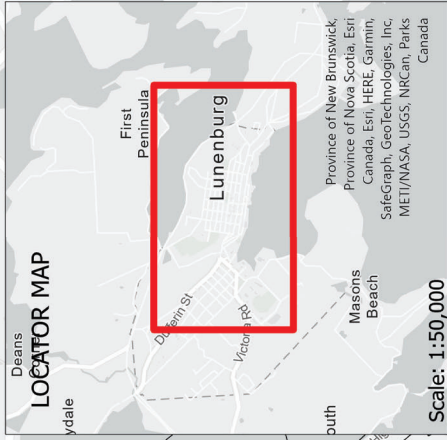
Metres

Scale: 1:6,000

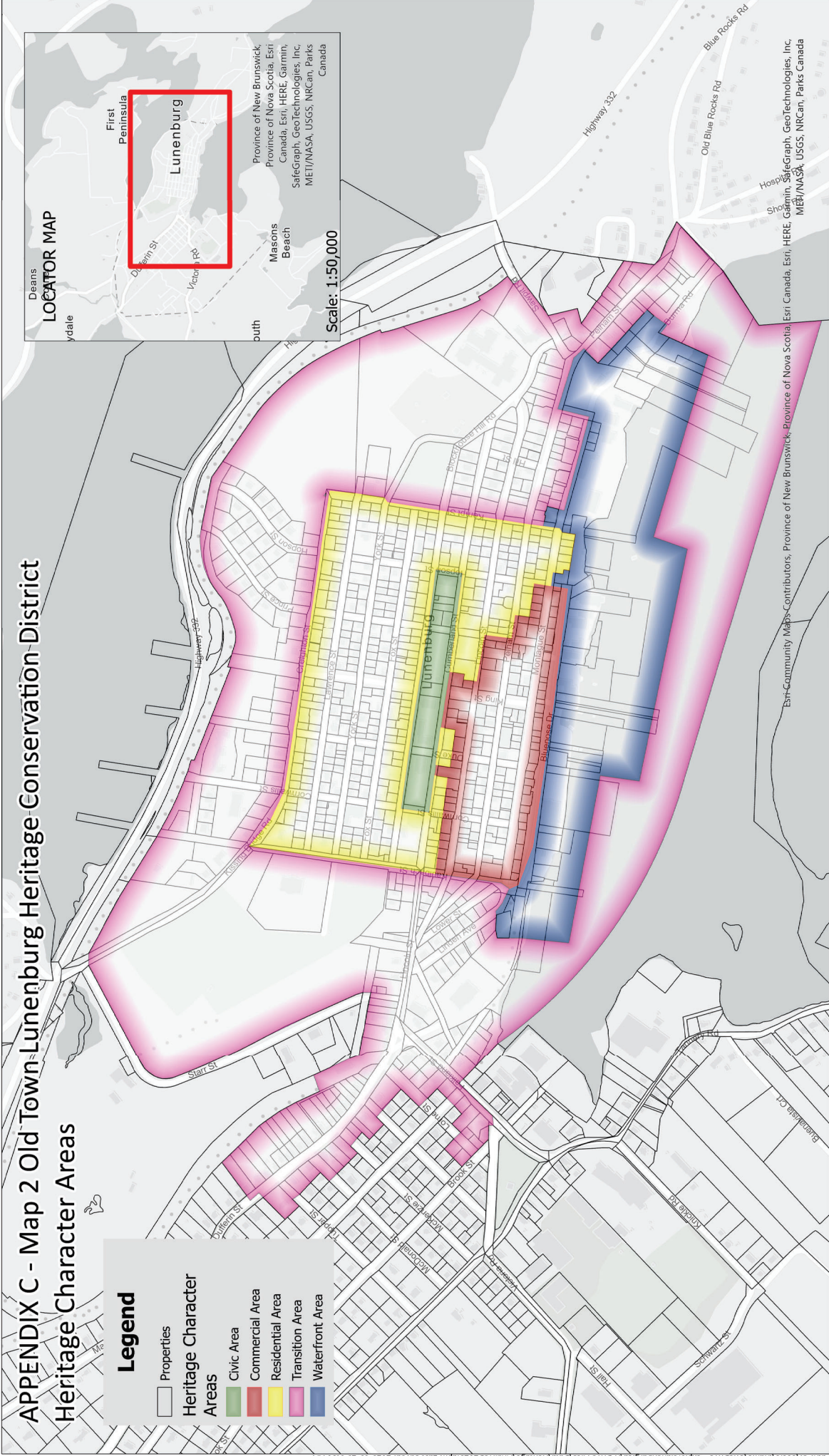
APPENDIX C - Map 2 Old Town Lunenburg Heritage Conservation District Heritage Character Areas

Legend

-  Properties
-  Heritage Character Areas
-  Civic Area
-  Commercial Area
-  Residential Area
-  Transition Area
-  Waterfront Area



Scale: 1:50,000



GN

Scale: 1:6,000

380



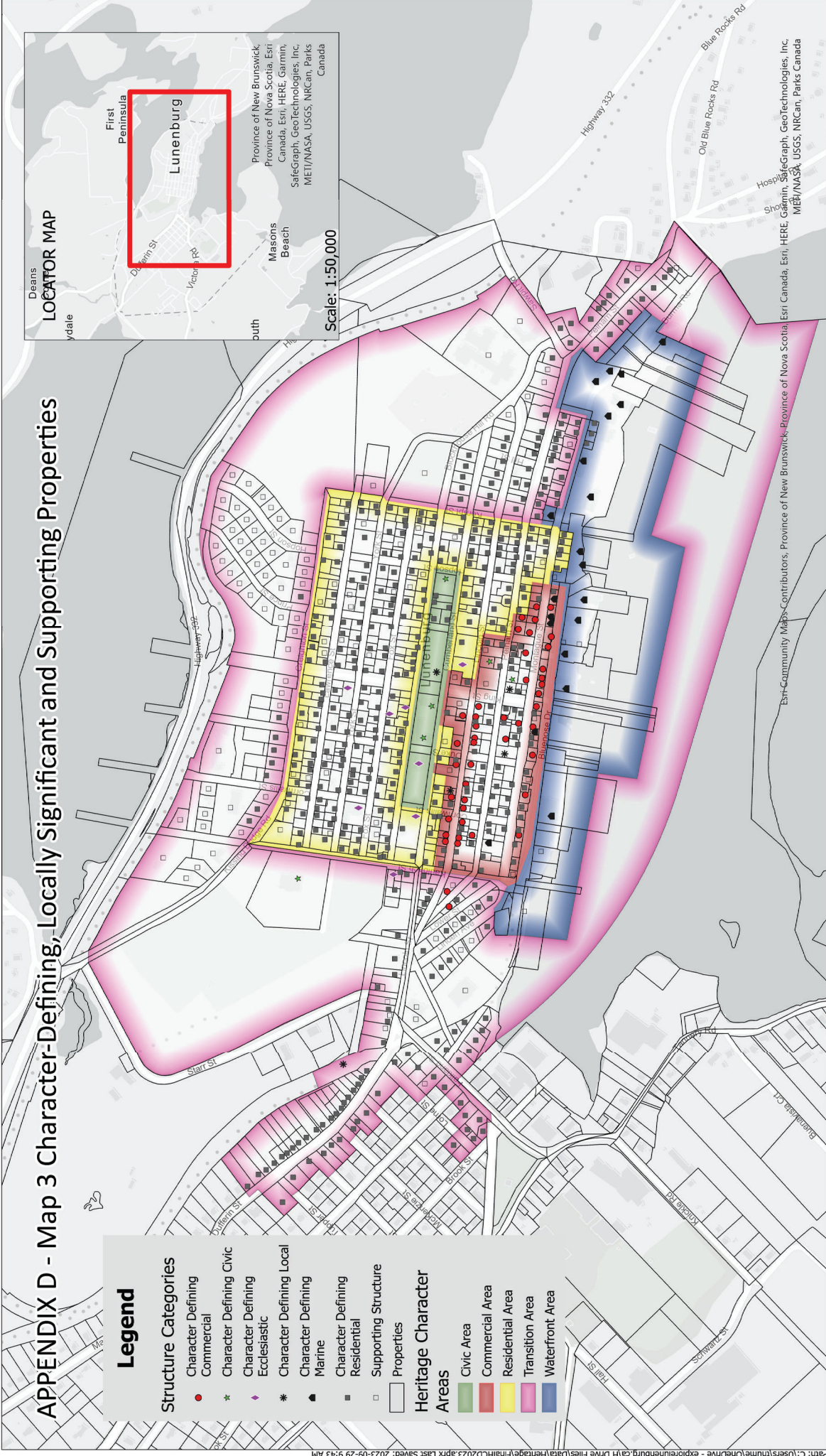
Metres

TOWN OF LUNENBURG Heritage Conservation District - Map 2

Maps are for graphical purposes only. They do not represent a legal survey. The Town of Lunenburg does not assume that these data are accurate and reliable within the limits of the current state of the art. The Town of Lunenburg cannot assume liability for any damages caused by any errors or omissions in the data. Users of our maps and other analysis products are solely responsible for interpretations made from these products.



APPENDIX D - Map 3 Character-Defining, Locally Significant and Supporting Properties



Legend

Structure Categories

- Character Defining Commercial
- Character Defining Civic
- Character Defining Ecclesiastic
- Character Defining Local
- Character Defining Marine
- Character Defining Residential
- Supporting Structure
- Properties

Heritage Character Areas

- Civic Area
- Commercial Area
- Residential Area
- Transition Area
- Waterfront Area



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TOWN OF LUNENBURG Heritage Conservation District - Map 3

Scale: 1:6,000
380
Metres

Appendix E: List of Character-Defining, Locally Significant and Supporting Structures

Unless otherwise specified, the structure type listed for each address applies to the main building at each address. Outbuildings (accessory buildings) are Supporting Structures.

Civic Address	PID	Structure Type
6 ARCHIBALD ST	60055597	Residential Character-Defining Structure
7 BLOCKHOUSE HILL RD	60060159	Supporting Structure
18-20 BLOCKHOUSE HILL RD	60700408	Supporting Structure
24 BLOCKHOUSE HILL RD	60670171	Supporting Structure
25 BLOCKHOUSE HILL RD	60056850	Supporting Structure
28 BLOCKHOUSE HILL RD	60062361	Supporting Structure
30 BLOCKHOUSE HILL RD	60062379	Supporting Structure
37 BLOCKHOUSE HILL RD	60056843	Supporting Structure
321 BLUE ROCKS RD	60063625	Supporting Structure
322 BLUE ROCKS RD	60063575	Residential Character-Defining Structure
326 BLUE ROCKS RD	60063583	Residential Character-Defining Structure
332 BLUE ROCKS RD	60063591	Residential Character-Defining Structure
334 BLUE ROCKS RD	60063609	Supporting Structure
0 BLUENOSE DR (EAST)	60063310	Marine Character-Defining Structure
0 BLUENOSE DR (WEST)	60063310	Marine Character-Defining Structure
32 BLUENOSE DR	60386141	Supporting Structure
39 BLUENOSE DR	60063013	Supporting Structure
52 BLUENOSE DR	60062999	Supporting Structure
68 BLUENOSE DR	60063120	Marine Character-Defining Structure
128 BLUENOSE DR	60063237	Marine Character-Defining Structure
146 BLUENOSE DR	60386547	Marine Character-Defining Structure
150 BLUENOSE DR	60489929	Supporting Structure
152 BLUENOSE DR	60489929	Supporting Structure
160 BLUENOSE DR	60489929	Marine Character-Defining Structure
161 BLUENOSE DR	60635430	Marine Character-Defining Structure
161B BLUENOSE DR	60635430	Marine Character-Defining Structure
174 BLUENOSE DR	60063286	Marine Character-Defining Structure
28 BROOK ST	60054384	Residential Character-Defining Structure
4 BURMA RD	60063427	Marine Character-Defining Structure
14 BURMA RD	60063427	Marine Character-Defining Structure
15 BURMA RD	60063427	Marine Character-Defining Structure
23 BURMA RD	60063427	Marine Character-Defining Structure
28 BURMA RD	60385820	Marine Character-Defining Structure
52 BURMA RD	60063492	Marine Character-Defining Structure

21 CORNWALLIS ST	60061256	Commercial Character-Defining Structure
25 CORNWALLIS ST	60062064	Commercial Character-Defining Structure
30 CORNWALLIS ST	60062072	Residential Character-Defining Structure
31 CORNWALLIS ST	60060852	Residential Character-Defining Structure
33 CORNWALLIS ST	60060845	Residential Character-Defining Structure
49 CORNWALLIS ST	60059912	Residential Character-Defining Structure
60 CORNWALLIS ST	60059920	Residential Character-Defining Structure
72 CORNWALLIS ST	60059367	Residential Character-Defining Structure
74 CORNWALLIS ST	60058880	Residential Character-Defining Structure
83 CORNWALLIS ST	60058864	Residential Character-Defining Structure
84 CORNWALLIS ST	60058898	Residential Character-Defining Structure
86 CORNWALLIS ST	60058401	Residential Character-Defining Structure
94 CORNWALLIS ST	60058419	Residential Character-Defining Structure
95 CORNWALLIS ST	60058393	Residential Character-Defining Structure
105 CORNWALLIS ST	60057734	Supporting Structure
119 CORNWALLIS ST	60057726	Supporting Structure
124 CORNWALLIS ST	60658879	Supporting Structure
71 CREIGHTON ST	60057502	Residential Character-Defining Structure
76 CREIGHTON ST	60058427	Supporting Structure
77 CREIGHTON ST	60057478	Residential Character-Defining Structure
80 CREIGHTON ST	60058435	Residential Character-Defining Structure
84 CREIGHTON ST	60058443	Residential Character-Defining Structure
85 CREIGHTON ST	60057452	Residential Character-Defining Structure
91 CREIGHTON ST	60057445	Residential Character-Defining Structure
94 CREIGHTON ST	60058450	Residential Character-Defining Structure
97 CREIGHTON ST	60057437	Residential Character-Defining Structure
102 CREIGHTON ST	60632734	Residential Character-Defining Structure
105 CREIGHTON ST	60057429	Supporting Structure
113 CREIGHTON ST	60057411	Supporting Structure
114 CREIGHTON ST	60058484	Residential Character-Defining Structure
121 CREIGHTON ST	60057403	Supporting Structure
129 CREIGHTON ST	60057361	Supporting Structure
134 CREIGHTON ST	60058518	Residential Character-Defining Structure
138 CREIGHTON ST	60058526	Residential Character-Defining Structure
146 CREIGHTON ST	60058534	Residential Character-Defining Structure
147 CREIGHTON ST	60057353	Supporting Structure
149 CREIGHTON ST	60057346	Supporting Structure
153 CREIGHTON ST	60057338	Residential Character-Defining Structure
161 CREIGHTON ST	60057320	Supporting Structure
169 CREIGHTON ST	60057312	Supporting Structure
177 CREIGHTON ST	60057304	Supporting Structure

0 CUMBERLAND ST	60060746	Locally Significant Structure
40 CUMBERLAND ST	60060803	Residential Character-Defining Structure
58 CUMBERLAND ST	60665668	Residential Character-Defining Structure
65 CUMBERLAND ST	60060472	Ecclesiastic Character-Defining Structure
70 CUMBERLAND ST	60060860	Residential Character-Defining Structure
76 CUMBERLAND ST	60708641	Residential Character-Defining Structure
107 CUMBERLAND ST	60060753	Civic Character-Defining Structure
116 CUMBERLAND ST	60060894	Residential Character-Defining Structure
119 CUMBERLAND ST	60060753	Civic Character-Defining Structure
136 CUMBERLAND ST	60060928	Ecclesiastic Character-Defining Structure
150 CUMBERLAND ST	60060936	Residential Character-Defining Structure
156 CUMBERLAND ST	60062189	Residential Character-Defining Structure
161 CUMBERLAND ST	60060712	Residential Character-Defining Structure
161 CUMBERLAND ST	60060712	Residential Character-Defining Structure
170 CUMBERLAND ST	60060951	Residential Character-Defining Structure
177 CUMBERLAND ST	60528155	Civic Character-Defining Structure
186 CUMBERLAND ST	60061009	Residential Character-Defining Structure
188 CUMBERLAND ST	60061017	Residential Character-Defining Structure
195 CUMBERLAND ST	60060654	Supporting Structure
196 CUMBERLAND ST	60061025	Residential Character-Defining Structure
201 CUMBERLAND ST	60060647	Residential Character-Defining Structure
202 CUMBERLAND ST	60061033	Residential Character-Defining Structure
205 CUMBERLAND ST	60060639	Residential Character-Defining Structure
206 CUMBERLAND ST	60061041	Residential Character-Defining Structure
211 CUMBERLAND ST	60060621	Residential Character-Defining Structure
217 CUMBERLAND ST	60060613	Residential Character-Defining Structure
225 CUMBERLAND ST	60060605	Residential Character-Defining Structure
229 CUMBERLAND ST	60060597	Residential Character-Defining Structure
235 CUMBERLAND ST	60060589	Residential Character-Defining Structure
4 DUFFERIN ST	60604170	Commercial Character-Defining Structure
10 DUFFERIN ST	60057932	Residential Character-Defining Structure
18 DUFFERIN ST	60055951	Locally Significant Structure
26 DUFFERIN ST	60501210	Residential Character-Defining Structure
30 DUFFERIN ST	60055977	Residential Character-Defining Structure
36 DUFFERIN ST	60055985	Residential Character-Defining Structure
38 DUFFERIN ST	60055993	Residential Character-Defining Structure
42 DUFFERIN ST	60056009	Residential Character-Defining Structure
46 DUFFERIN ST	60056017	Residential Character-Defining Structure
47 DUFFERIN ST	60055589	Residential Character-Defining Structure
48 DUFFERIN ST	60056025	Residential Character-Defining Structure
51 DUFFERIN ST	60055571	Residential Character-Defining Structure

52 DUFFERIN ST	60056033	Residential Character-Defining Structure
56 DUFFERIN ST	60056058	Residential Character-Defining Structure
57 DUFFERIN ST	60055522	Residential Character-Defining Structure
60 DUFFERIN ST	60056066	Residential Character-Defining Structure
61 DUFFERIN ST	60055514	Residential Character-Defining Structure
64 DUFFERIN ST	60056074	Residential Character-Defining Structure
67 DUFFERIN ST	60055506	Residential Character-Defining Structure
70 DUFFERIN ST	60056082	Residential Character-Defining Structure
72 DUFFERIN ST	60056090	Residential Character-Defining Structure
75 DUFFERIN ST	60055472	Residential Character-Defining Structure
76 DUFFERIN ST	60056124	Residential Character-Defining Structure
80 DUFFERIN ST	60056132	Residential Character-Defining Structure
82 DUFFERIN ST	60056140	Residential Character-Defining Structure
83 DUFFERIN ST	60055464	Residential Character-Defining Structure
88 DUFFERIN ST	60056157	Residential Character-Defining Structure
90 DUFFERIN ST	60056173	Residential Character-Defining Structure
95 DUFFERIN ST	60642758	Residential Character-Defining Structure
96 DUFFERIN ST	60056199	Residential Character-Defining Structure
102 DUFFERIN ST	60056207	Residential Character-Defining Structure
34 DUKE ST	60060886	Supporting Structure
35 DUKE ST	60060878	Residential Character-Defining Structure
59 DUKE ST	60059946	Residential Character-Defining Structure
60 DUKE ST	60059953	Residential Character-Defining Structure
62 DUKE ST	60059433	Residential Character-Defining Structure
65 DUKE ST	60644374	Residential Character-Defining Structure
77 DUKE ST	60059250	Residential Character-Defining Structure
81 DUKE ST	60599115	Residential Character-Defining Structure
82 DUKE ST	60058963	Residential Character-Defining Structure
86 DUKE ST	60058468	Residential Character-Defining Structure
93 DUKE ST	60059425	Residential Character-Defining Structure
96 DUKE ST	60058476	Supporting Structure
1 FALKLAND ST	60057957	Supporting Structure
10 FALKLAND ST	60055688	Residential Character-Defining Structure
15 FALKLAND ST	60055910	Residential Character-Defining Structure
18 FALKLAND ST	60712387	Residential Character-Defining Structure
21 FALKLAND ST	60055902	Residential Character-Defining Structure
26 FALKLAND ST	60055704	Residential Character-Defining Structure
26B FALKLAND ST	60055704	Supporting Structure
29 FALKLAND ST	60055829	Residential Character-Defining Structure
32 FALKLAND ST	60055712	Residential Character-Defining Structure
38 FALKLAND ST	60055720	Residential Character-Defining Structure

42 FALKLAND ST	60589751	Residential Character-Defining Structure
50 FALKLAND ST	60055746	Residential Character-Defining Structure
41 FOX ST	60059854	Residential Character-Defining Structure
46 FOX ST	60059870	Residential Character-Defining Structure
47 FOX ST	60059847	Residential Character-Defining Structure
51 FOX ST	60059839	Residential Character-Defining Structure
52 FOX ST	60059888	Supporting Structure
58 FOX ST	60059896	Supporting Structure
65 FOX ST	60059821	Ecclesiastic Character-Defining Structure
66 FOX ST	60059904	Residential Character-Defining Structure
69 FOX ST	60602463	Residential Character-Defining Structure
77 FOX ST	60602471	Residential Character-Defining Structure
78 FOX ST	60059938	Residential Character-Defining Structure
83 FOX ST	60059789	Residential Character-Defining Structure
101 FOX ST	60059771	Residential Character-Defining Structure
104 FOX ST	60059979	Residential Character-Defining Structure
105 FOX ST	60059763	Residential Character-Defining Structure
111 FOX ST	60059755	Residential Character-Defining Structure
114 FOX ST	60673357	Ecclesiastic Character-Defining Structure
121 FOX ST	60059748	Residential Character-Defining Structure
122 FOX ST	60673316	Residential Character-Defining Structure
126 FOX ST	60060027	Residential Character-Defining Structure
133 FOX ST	60059730	Residential Character-Defining Structure
137 FOX ST	60059722	Residential Character-Defining Structure
149 FOX ST	60059714	Residential Character-Defining Structure
151 FOX ST	60059706	Residential Character-Defining Structure
157 FOX ST	60059698	Residential Character-Defining Structure
159 FOX ST	60059680	Residential Character-Defining Structure
160 FOX ST	60060050	Residential Character-Defining Structure
165 FOX ST	60059672	Supporting Structure
167 FOX ST	60059656	Residential Character-Defining Structure
170 FOX ST	60060068	Supporting Structure
177 FOX ST	60059649	Residential Character-Defining Structure
178 FOX ST	60060076	Residential Character-Defining Structure
179 FOX ST	60059631	Residential Character-Defining Structure
186 FOX ST	60060100	Residential Character-Defining Structure
187 FOX ST	60059623	Supporting Structure
193 FOX ST	60059615	Residential Character-Defining Structure
196 FOX ST	60060118	Supporting Structure
197 FOX ST	60059607	Residential Character-Defining Structure
201 FOX ST	60059599	Residential Character-Defining Structure

204 FOX ST	60060126	Residential Character-Defining Structure
205 FOX ST	60059581	Residential Character-Defining Structure
206 FOX ST	60060134	Residential Character-Defining Structure
24 HOPSON ST	60061561	Residential Character-Defining Structure
25 HOPSON ST	60060977	Residential Character-Defining Structure
26 HOPSON ST	60060985	Residential Character-Defining Structure
35 HOPSON ST	60060969	Residential Character-Defining Structure
36 HOPSON ST	60060993	Residential Character-Defining Structure
40 HOPSON ST	60060548	Residential Character-Defining Structure
46 HOPSON ST	60060555	Residential Character-Defining Structure
51 HOPSON ST	60060084	Supporting Structure
58 HOPSON ST	60060092	Residential Character-Defining Structure
71 HOPSON ST	60059540	Residential Character-Defining Structure
87 HOPSON ST	60058609	Residential Character-Defining Structure
94 HOPSON ST	60056975	Residential Character-Defining Structure
95 HOPSON ST	60058591	Residential Character-Defining Structure
101 HOPSON ST	60057296	Supporting Structure
107 HOPSON ST	60057288	Supporting Structure
112 HOPSON ST	60057031	Supporting Structure
113 HOPSON ST	60057270	Supporting Structure
118 HOPSON ST	60057049	Supporting Structure
119 HOPSON ST	60057262	Supporting Structure
123 HOPSON ST	60057254	Supporting Structure
124 HOPSON ST	60057056	Supporting Structure
126 HOPSON ST	60057064	Supporting Structure
134 HOPSON ST	60057072	Supporting Structure
135 HOPSON ST	60057247	Supporting Structure
146 HOPSON ST	60057080	Supporting Structure
35 KAULBACH ST	60060795	Residential Character-Defining Structure
40 KAULBACH ST	60060456	Residential Character-Defining Structure
41 KAULBACH ST	60060449	Residential Character-Defining Structure
45 KAULBACH ST	60060431	Residential Character-Defining Structure
47 KAULBACH ST	60060423	Ecclesiastic Character-Defining Structure
49 KAULBACH ST	60060415	Residential Character-Defining Structure
52 KAULBACH ST	60059862	Residential Character-Defining Structure
72 KAULBACH ST	60059342	Residential Character-Defining Structure
101 KAULBACH ST	60058831	Civic Character-Defining Structure
2 KEMPT ST	60062700	Marine Character-Defining Structure
82 KEMPT ST	60056884	Supporting Structure
3 KING ST	60062890	Residential Character-Defining Structure
4 KING ST	60062841	Supporting Structure

6 KING ST	60062858	Residential Character-Defining Structure
8 KING ST	60062866	Locally Significant Structure
9 KING ST	60667441	Residential Character-Defining Structure
11 KING ST	60062874	Residential Character-Defining Structure
13 KING ST	60061488	Residential Character-Defining Structure
16 KING ST	60061496	Supporting Structure
28 KING ST	60060902	Residential Character-Defining Structure
36 KING ST	60060910	Supporting Structure
54 KING ST	60060019	Residential Character-Defining Structure
64 KING ST	60059474	Residential Character-Defining Structure
70 KING ST	60682614	Residential Character-Defining Structure
71 KING ST	60059466	Residential Character-Defining Structure
74 KING ST	60059011	Residential Character-Defining Structure
82 KING ST	60059029	Residential Character-Defining Structure
94 KING ST	60058500	Residential Character-Defining Structure
3 KINLEY DR	60057718	Supporting Structure
15 KINLEY DR	60057692	Supporting Structure
20 KINLEY DR	60057676	Supporting Structure
21 KINLEY DR	60057684	Supporting Structure
42 KINLEY DR	60591997	Supporting Structure
5 KISSING BRIDGE RD	60058385	Supporting Structure
7 KISSING BRIDGE RD	60058377	Residential Character-Defining Structure
10 KISSING BRIDGE RD	60057742	Residential Character-Defining Structure
15 KISSING BRIDGE RD	60058369	Supporting Structure
18 KISSING BRIDGE RD	60057759	Residential Character-Defining Structure
24 KISSING BRIDGE RD	60057767	Supporting Structure
38 KISSING BRIDGE RD	60592003	Supporting Structure
48 KISSING BRIDGE RD	60669470	Supporting Structure
54 KISSING BRIDGE RD	60669462	Supporting Structure
39 LAWRENCE ST	60058823	Residential Character-Defining Structure
45 LAWRENCE ST	60058815	Residential Character-Defining Structure
50 LAWRENCE ST	60639523	Residential Character-Defining Structure
55 LAWRENCE ST	60713583	Residential Character-Defining Structure
58 LAWRENCE ST	60058849	Residential Character-Defining Structure
62 LAWRENCE ST	60058856	Residential Character-Defining Structure
65 LAWRENCE ST	60058799	Residential Character-Defining Structure
71 LAWRENCE ST	60058781	Supporting Structure
77 LAWRENCE ST	60058773	Residential Character-Defining Structure
78 LAWRENCE ST	60058906	Supporting Structure
81 LAWRENCE ST	60058765	Residential Character-Defining Structure
82 LAWRENCE ST	60058914	Residential Character-Defining Structure

86 LAWRENCE ST	60058922	Supporting Structure
87 LAWRENCE ST	60058757	Residential Character-Defining Structure
93 LAWRENCE ST	60058740	Residential Character-Defining Structure
105 LAWRENCE ST	60058724	Residential Character-Defining Structure
110 LAWRENCE ST	60058971	Residential Character-Defining Structure
111 LAWRENCE ST	60058716	Residential Character-Defining Structure
113 LAWRENCE ST	60058708	Residential Character-Defining Structure
117 LAWRENCE ST	60058690	Residential Character-Defining Structure
118 LAWRENCE ST	60058997	Residential Character-Defining Structure
119 LAWRENCE ST	60058682	Residential Character-Defining Structure
125 LAWRENCE ST	60058674	Residential Character-Defining Structure
129 LAWRENCE ST	60058666	Supporting Structure
134 LAWRENCE ST	60059037	Residential Character-Defining Structure
135 LAWRENCE ST	60058658	Supporting Structure
138 LAWRENCE ST	60059045	Supporting Structure
144 LAWRENCE ST	60059052	Residential Character-Defining Structure
148 LAWRENCE ST	60059060	Residential Character-Defining Structure
149 LAWRENCE ST	60058641	Residential Character-Defining Structure
154 LAWRENCE ST	60059086	Supporting Structure
159 LAWRENCE ST	60058625	Residential Character-Defining Structure
162 LAWRENCE ST	60675097	Supporting Structure
163 LAWRENCE ST	60058617	Supporting Structure
181 LAWRENCE ST	60056967	Residential Character-Defining Structure
188 LAWRENCE ST	60059094	Residential Character-Defining Structure
189 LAWRENCE ST	60056959	Residential Character-Defining Structure
195 LAWRENCE ST	60056942	Residential Character-Defining Structure
196 LAWRENCE ST	60059102	Supporting Structure
199 LAWRENCE ST	60056934	Residential Character-Defining Structure
201 LAWRENCE ST	60056926	Supporting Structure
204 LAWRENCE ST	60059110	Residential Character-Defining Structure
205 LAWRENCE ST	60056918	Residential Character-Defining Structure
206 LAWRENCE ST	60059128	Residential Character-Defining Structure
1 LINCOLN ST	60057890	Residential Character-Defining Structure
7 LINCOLN ST	60057890	Residential Character-Defining Structure
11 LINCOLN ST	60057882	Residential Character-Defining Structure
15 LINCOLN ST	60057874	Supporting Structure
26 LINCOLN ST	60057965	Supporting Structure
43 LINCOLN ST	60058302	Residential Character-Defining Structure
55 LINCOLN ST	60058294	Residential Character-Defining Structure
61 LINCOLN ST	60058286	Residential Character-Defining Structure
87 LINCOLN ST	60061975	Residential Character-Defining Structure

97 LINCOLN ST	60061983	Residential Character-Defining Structure
103 LINCOLN ST	60061991	Residential Character-Defining Structure
109 LINCOLN ST	60062007	Residential Character-Defining Structure
112 LINCOLN ST	60061280	Commercial Character-Defining Structure
126 LINCOLN ST	60061272	Supporting Structure
129 LINCOLN ST	60062023	Residential Character-Defining Structure
130 LINCOLN ST	60061298	Residential Character-Defining Structure
138 LINCOLN ST	60061306	Residential Character-Defining Structure
139-145 LINCOLN ST	60062031	Residential Character-Defining Structure
149-153 LINCOLN ST	60062049	Commercial Character-Defining Structure
152 LINCOLN ST	60061306	Commercial Character-Defining Structure
158 LINCOLN ST	60061314	Commercial Character-Defining Structure
159 LINCOLN ST	60062056	Commercial Character-Defining Structure
162 LINCOLN ST	60061322	Residential Character-Defining Structure
164-168 LINCOLN ST	60061330	Residential Character-Defining Structure
174-176 LINCOLN ST	60061355	Commercial Character-Defining Structure
180 LINCOLN ST	60061363	Commercial Character-Defining Structure
181-185 LINCOLN ST	60062080	Commercial Character-Defining Structure
187 LINCOLN ST	60062098	Locally Significant Structure
194B LINCOLN ST	60061371	Residential Character-Defining Structure
194C LINCOLN ST	60061371	Commercial Character-Defining Structure
194C LINCOLN ST	60061371	Residential Character-Defining Structure
200 LINCOLN ST	60061389	Supporting Structure
205 LINCOLN ST	60062114	Supporting Structure
214-218 LINCOLN ST	60061405	Commercial Character-Defining Structure
215 LINCOLN ST	60062122	Residential Character-Defining Structure
217 LINCOLN ST	60062122	Commercial Character-Defining Structure
222 LINCOLN ST	60061413	Residential Character-Defining Structure
228-232 LINCOLN ST	60061421	Commercial Character-Defining Structure
229 LINCOLN ST	60062130	Commercial Character-Defining Structure
234-236 LINCOLN ST	60061439	Commercial Character-Defining Structure
242 LINCOLN ST	60061447	Commercial Character-Defining Structure
247-255 LINCOLN ST	60062163	Commercial Character-Defining Structure
248 LINCOLN ST	60061454	Residential Character-Defining Structure
250 LINCOLN ST	60061454	Commercial Character-Defining Structure
254 LINCOLN ST	60061470	Commercial Character-Defining Structure
261-263 LINCOLN ST	60062171	Supporting Structure
290 LINCOLN ST	60061504	Civic Character-Defining Structure
296 LINCOLN ST	60061512	Supporting Structure
306 LINCOLN ST	60061520	Residential Character-Defining Structure
316 LINCOLN ST	60646197	Residential Character-Defining Structure

321 LINCOLN ST	60062197	Residential Character-Defining Structure
324 LINCOLN ST	60061546	Residential Character-Defining Structure
325 LINCOLN ST	60062205	Residential Character-Defining Structure
331 LINCOLN ST	60062213	Residential Character-Defining Structure
348 LINCOLN ST	60061579	Residential Character-Defining Structure
349 LINCOLN ST	60062221	Residential Character-Defining Structure
352 LINCOLN ST	60061587	Residential Character-Defining Structure
355 LINCOLN ST	60062239	Residential Character-Defining Structure
360 LINCOLN ST	60061595	Residential Character-Defining Structure
361 LINCOLN ST	60062247	Residential Character-Defining Structure
365 LINCOLN ST	60062254	Residential Character-Defining Structure
366 LINCOLN ST	60061603	Residential Character-Defining Structure
369 LINCOLN ST	60062338	Residential Character-Defining Structure
373 LINCOLN ST	60062320	Residential Character-Defining Structure
379 LINCOLN ST	60062312	Residential Character-Defining Structure
382 LINCOLN ST	60062346	Residential Character-Defining Structure
383 LINCOLN ST	60062304	Residential Character-Defining Structure
389 LINCOLN ST	60062296	Residential Character-Defining Structure
393 LINCOLN ST	60062288	Residential Character-Defining Structure
399 LINCOLN ST	60062270	Residential Character-Defining Structure
4 LINDEN AVE	60057973	Residential Character-Defining Structure
8 LINDEN AVE	60057981	Residential Character-Defining Structure
11 LINDEN AVE	60058260	Supporting Structure
12 LINDEN AVE	60057999	Residential Character-Defining Structure
12 LINDEN AVE	60058211	Residential Character-Defining Structure
18 LINDEN AVE	60058203	Residential Character-Defining Structure
19 LINDEN AVE	60058252	Residential Character-Defining Structure
20 LINDEN AVE	60058005	Supporting Structure
25 LINDEN AVE	60058245	Supporting Structure
26 LINDEN AVE	60058013	Supporting Structure
29 LINDEN AVE	60058237	Residential Character-Defining Structure
33 LINDEN AVE	60058229	Supporting Structure
34 LINDEN AVE	60058021	Residential Character-Defining Structure
1 LORNE ST	60055670	Residential Character-Defining Structure
6 LORNE ST	60055639	Residential Character-Defining Structure
41 LORNE ST	60055068	Residential Character-Defining Structure
46 LORNE ST	60055043	Residential Character-Defining Structure
1 MEDWAY ST	60058278	Residential Character-Defining Structure
25 MEDWAY ST	60055894	Residential Character-Defining Structure
36 MONTAGUE ST	60063021	Residential Character-Defining Structure
44 MONTAGUE ST	60063039	Residential Character-Defining Structure

45 MONTAGUE ST	60061892	Commercial Character-Defining Structure
50 MONTAGUE ST	60063047	Commercial Character-Defining Structure
53 MONTAGUE ST	60062973	Residential Character-Defining Structure
54 MONTAGUE ST	60063047	Residential Character-Defining Structure
55 MONTAGUE ST	60062965	Residential Character-Defining Structure
56 MONTAGUE ST	60063062	Residential Character-Defining Structure
62 MONTAGUE ST	60488608	Residential Character-Defining Structure
65 MONTAGUE ST	60062957	Residential Character-Defining Structure
66 MONTAGUE ST	60499365	Commercial Character-Defining Structure
73 MONTAGUE ST	60062940	Residential Character-Defining Structure
74 MONTAGUE ST	60063096	Residential Character-Defining Structure
80 MONTAGUE ST	60063104	Supporting Structure
82 MONTAGUE ST	60063112	Residential Character-Defining Structure
84-90 MONTAGUE ST	60499381	Commercial Character-Defining Structure
91 MONTAGUE ST	60062932	Residential Character-Defining Structure
94 MONTAGUE ST	60063146	Residential Character-Defining Structure
95 MONTAGUE ST	60062924	Residential Character-Defining Structure
96 MONTAGUE ST	60063153	Residential Character-Defining Structure
99 MONTAGUE ST	60062916	Residential Character-Defining Structure
100 MONTAGUE ST	60063161	Commercial Character-Defining Structure
101 MONTAGUE ST	60062908	Commercial Character-Defining Structure
108 MONTAGUE ST	60063179	Supporting Structure
108 MONTAGUE ST - B	60063179	Commercial Character-Defining Structure
110 MONTAGUE ST	60063187	Residential Character-Defining Structure
112-116 MONTAGUE ST	60063195	Commercial Character-Defining Structure
118-120 MONTAGUE ST	60063203	Residential Character-Defining Structure
125 MONTAGUE ST	60062833	Commercial Character-Defining Structure
124-126 MONTAGUE ST	60063211	Commercial Character-Defining Structure
128-130 MONTAGUE ST	60063229	Commercial Character-Defining Structure
132-138 MONTAGUE ST	60063252	Commercial Character-Defining Structure
188-192 MONTAGUE ST	60385911	Residential Character-Defining Structure
139 MONTAGUE ST	60062817	Commercial Character-Defining Structure
144 MONTAGUE ST	60063278	Commercial Character-Defining Structure
151 MONTAGUE ST	60062809	Commercial Character-Defining Structure
152 MONTAGUE ST	60063260	Residential Character-Defining Structure
161 MONTAGUE ST	60062791	Commercial Character-Defining Structure
169 MONTAGUE ST	60062775	Commercial Character-Defining Structure
170 MONTAGUE ST	60063294	Commercial Character-Defining Structure
175 MONTAGUE ST	60062767	Residential Character-Defining Structure
182 MONTAGUE ST	60385911	Marine Character-Defining Structure
194 MONTAGUE ST	60063302	Supporting Structure

200 MONTAGUE ST	60063351	Residential Character-Defining Structure
201 MONTAGUE ST	60062742	Supporting Structure
207 MONTAGUE ST	60062734	Residential Character-Defining Structure
208 MONTAGUE ST	60063369	Residential Character-Defining Structure
210 MONTAGUE ST	60063377	Residential Character-Defining Structure
213 MONTAGUE ST	60062726	Residential Character-Defining Structure
216 MONTAGUE ST	60063385	Residential Character-Defining Structure
219 MONTAGUE ST	60062718	Residential Character-Defining Structure
220 MONTAGUE ST	60063393	Residential Character-Defining Structure
229 MONTAGUE ST	60062692	Residential Character-Defining Structure
235 MONTAGUE ST	60062684	Residential Character-Defining Structure
240 MONTAGUE ST	60063427	Marine Character-Defining Structure
243 MONTAGUE ST	60636834	Residential Character-Defining Structure
250 MONTAGUE ST	60063427	Marine Character-Defining Structure
257 MONTAGUE ST	60062668	Residential Character-Defining Structure
265 MONTAGUE ST	60062650	Supporting Structure
268 MONTAGUE ST	60063435	Residential Character-Defining Structure
271 MONTAGUE ST	60062643	Residential Character-Defining Structure
272 MONTAGUE ST	60063443	Residential Character-Defining Structure
277 MONTAGUE ST	60062635	Residential Character-Defining Structure
280 MONTAGUE ST	60696663	Residential Character-Defining Structure
183 OXNER DR	60057221	Supporting Structure
191 OXNER DR	60057239	Supporting Structure
297 PELHAL ST	60063666	Residential Character-Defining Structure
8 PELHAM ST	60061934	Commercial Character-Defining Structure
10 PELHAM ST	60061926	Residential Character-Defining Structure
26 PELHAM ST	60061918	Residential Character-Defining Structure
28 PELHAM ST	60061900	Residential Character-Defining Structure
36 PELHAM ST	60701075	Residential Character-Defining Structure
41 PELHAM ST	60061264	Residential Character-Defining Structure
49 PELHAM ST	60432028	Commercial Character-Defining Structure
52 PELHAM ST	60061884	Residential Character-Defining Structure
54 PELHAM ST	60061876	Residential Character-Defining Structure
55 PELHAM ST	60061249	Residential Character-Defining Structure
56 PELHAM ST	60061868	Residential Character-Defining Structure
66 PELHAM ST	60061850	Residential Character-Defining Structure
71 PELHAM ST	60061223	Residential Character-Defining Structure
72 PELHAM ST	60061843	Residential Character-Defining Structure
75 PELHAM ST	60061215	Residential Character-Defining Structure
79 PELHAM ST	60061207	Residential Character-Defining Structure
80 PELHAM ST	60719697	Residential Character-Defining Structure

84 PELHAM ST	60061827	Locally Significant Structure
90 PELHAM ST	60061801	Commercial Character-Defining Structure
102 PELHAM ST	60061793	Residential Character-Defining Structure
103 PELHAM ST	60061173	Residential Character-Defining Structure
106 PELHAM ST	60061785	Commercial Character-Defining Structure
120 PELHAM ST	60061777	Civic Character-Defining Structure
125 PELHAM ST	60061165	Residential Character-Defining Structure
126 PELHAM ST	60061769	Residential Character-Defining Structure
128 PELHAM ST	60061751	Residential Character-Defining Structure
134 PELHAM ST	60061744	Residential Character-Defining Structure
137 PELHAM ST	60061140	Residential Character-Defining Structure
138 PELHAM ST	60061728	Residential Character-Defining Structure
139 PELHAM ST	60061132	Residential Character-Defining Structure
140 PELHAM ST	60061710	Commercial Character-Defining Structure
150 PELHAM ST	60061702	Commercial Character-Defining Structure
154 PELHAM ST	60061694	Residential Character-Defining Structure
155 PELHAM ST	60426624	Residential Character-Defining Structure
162 PELHAM ST	60061686	Residential Character-Defining Structure
163 PELHAM ST	60681319	Residential Character-Defining Structure
166 PELHAM ST	60061678	Residential Character-Defining Structure
168 PELHAM ST	60061660	Residential Character-Defining Structure
169 PELHAM ST	60061116	Residential Character-Defining Structure
172 PELHAM ST	60061652	Residential Character-Defining Structure
173 PELHAM ST	60061108	Residential Character-Defining Structure
175 PELHAM ST	60061090	Residential Character-Defining Structure
178 PELHAM ST	60061645	Residential Character-Defining Structure
179 PELHAM ST	60061082	Residential Character-Defining Structure
182-184 PELHAM ST	60061637	Residential Character-Defining Structure
185 PELHAM ST	60061074	Residential Character-Defining Structure
190 PELHAM ST	60061629	Residential Character-Defining Structure
191 PELHAM ST	60061066	Residential Character-Defining Structure
193 PELHAM ST	60061058	Residential Character-Defining Structure
194 PELHAM ST	60061611	Residential Character-Defining Structure
196 PELHAM ST	60062502	Residential Character-Defining Structure
197 PELHAM ST	60062494	Residential Character-Defining Structure
201 PELHAM ST	60062486	Residential Character-Defining Structure
202 PELHAM ST	60062510	Residential Character-Defining Structure
204 PELHAM ST	60062528	Residential Character-Defining Structure
205 PELHAM ST	60062478	Residential Character-Defining Structure
208 PELHAM ST	60062536	Residential Character-Defining Structure
214 PELHAM ST	60062544	Residential Character-Defining Structure

215 PELHAM ST	60062460	Residential Character-Defining Structure
223 PELHAM ST	60062445	Residential Character-Defining Structure
224 PELHAM ST	60062551	Residential Character-Defining Structure
226 PELHAM ST	60062569	Residential Character-Defining Structure
227 PELHAM ST	60062437	Residential Character-Defining Structure
230 PELHAM ST	60062577	Residential Character-Defining Structure
233 PELHAM ST	60062429	Residential Character-Defining Structure
234 PELHAM ST	60062585	Residential Character-Defining Structure
235 PELHAM ST	60062411	Residential Character-Defining Structure
238 PELHAM ST	60062593	Residential Character-Defining Structure
242 PELHAM ST	60062601	Residential Character-Defining Structure
243 PELHAM ST	60062403	Residential Character-Defining Structure
244 PELHAM ST	60062627	Residential Character-Defining Structure
267 PELHAM ST	60062387	Residential Character-Defining Structure
275 PELHAM ST	60063690	Residential Character-Defining Structure
279 PELHAM ST	60610029	Residential Character-Defining Structure
284 PELHAM ST	60063526	Residential Character-Defining Structure
289 PELHAM ST	60063674	Residential Character-Defining Structure
290 PELHAM ST	60063534	Residential Character-Defining Structure
297 PELHAM ST	60063666	Residential Character-Defining Structure
299 PELHAM ST	60063658	Residential Character-Defining Structure
300 PELHAM ST	60063542	Residential Character-Defining Structure
304 PELHAM ST	60063559	Residential Character-Defining Structure
305 PELHAM ST	60063641	Residential Character-Defining Structure
311 PELHAM ST	60063633	Residential Character-Defining Structure
312 PELHAM ST	60063567	Residential Character-Defining Structure
9 PRINCE ST	60061736	Residential Character-Defining Structure
40 PRINCE ST	60060498	Residential Character-Defining Structure
48 PRINCE ST	60060506	Residential Character-Defining Structure
58 PRINCE ST	60060043	Residential Character-Defining Structure
70 PRINCE ST	60059524	Residential Character-Defining Structure
71 PRINCE ST	60059516	Residential Character-Defining Structure
73 PRINCE ST	60059078	Residential Character-Defining Structure
86 PRINCE ST	60058559	Residential Character-Defining Structure
94 PRINCE ST	60058567	Supporting Structure
95 PRINCE ST	60058542	Residential Character-Defining Structure
109 PRINCE ST	60057155	Supporting Structure
119 PRINCE ST	60057148	Supporting Structure
124 PRINCE ST	60057163	Supporting Structure
125 PRINCE ST	60057130	Supporting Structure
132 PRINCE ST	60057171	Supporting Structure

135 PRINCE ST	60057122	Supporting Structure
136 PRINCE ST	60057189	Supporting Structure
143 PRINCE ST	60057114	Supporting Structure
146 PRINCE ST	60057197	Supporting Structure
151 PRINCE ST	60057106	Supporting Structure
154 PRINCE ST	60057205	Supporting Structure
159 PRINCE ST	60057098	Supporting Structure
160 PRINCE ST	60057213	Supporting Structure
10 SAWPIT RD	60063708	Residential Character-Defining Structure
8 STARR ST	60058336	Residential Character-Defining Structure
41 TOWNSEND ST	60060399	Residential Character-Defining Structure
43 TOWNSEND ST	60060381	Residential Character-Defining Structure
49 TOWNSEND ST	60060373	Residential Character-Defining Structure
55 TOWNSEND ST	60060365	Residential Character-Defining Structure
58 TOWNSEND ST	60060472	Residential Character-Defining Structure
69 TOWNSEND ST	60060357	Residential Character-Defining Structure
75 TOWNSEND ST	60060340	Residential Character-Defining Structure
81 TOWNSEND ST	60060332	Residential Character-Defining Structure
87 TOWNSEND ST	60060324	Residential Character-Defining Structure
93 TOWNSEND ST	60060316	Residential Character-Defining Structure
94 TOWNSEND ST	60060761	Ecclesiastic Character-Defining Structure
95 TOWNSEND ST	60060308	Residential Character-Defining Structure
101 TOWNSEND ST	60060290	Residential Character-Defining Structure
105 TOWNSEND ST	60060282	Residential Character-Defining Structure
111 TOWNSEND ST	60059987	Ecclesiastic Character-Defining Structure
129 TOWNSEND ST	60060274	Residential Character-Defining Structure
133 TOWNSEND ST	60060266	Residential Character-Defining Structure
135 TOWNSEND ST	60060258	Residential Character-Defining Structure
141 TOWNSEND ST	60060241	Residential Character-Defining Structure
145 TOWNSEND ST	60060233	Residential Character-Defining Structure
153 TOWNSEND ST	60060225	Residential Character-Defining Structure
161 TOWNSEND ST	60060217	Residential Character-Defining Structure
164 TOWNSEND ST	60060522	Residential Character-Defining Structure
167 TOWNSEND ST	60060209	Residential Character-Defining Structure
185 TOWNSEND ST	60060191	Residential Character-Defining Structure
190 TOWNSEND ST	60653193	Residential Character-Defining Structure
191 TOWNSEND ST	60060183	Residential Character-Defining Structure
203 TOWNSEND ST	60060175	Residential Character-Defining Structure
205 TOWNSEND ST	60060167	Residential Character-Defining Structure
6 VICTORIA RD	60055753	Residential Character-Defining Structure
43 YORK ST	60059334	Residential Character-Defining Structure

47 YORK ST	60059326	Supporting Structure
50 YORK ST	60674793	Residential Character-Defining Structure
53 YORK ST	60059318	Residential Character-Defining Structure
54 YORK ST	60674785	Residential Character-Defining Structure
57 YORK ST	60059300	Residential Character-Defining Structure
61 YORK ST	60059292	Residential Character-Defining Structure
74 YORK ST	60059375	Residential Character-Defining Structure
78 YORK ST	60059383	Residential Character-Defining Structure
82 YORK ST	60059391	Residential Character-Defining Structure
83 YORK ST	60059284	Residential Character-Defining Structure
85 YORK ST	60059276	Residential Character-Defining Structure
89 YORK ST	60646791	Residential Character-Defining Structure
96 YORK ST	60059441	Residential Character-Defining Structure
99 YORK ST	60058955	Residential Character-Defining Structure
105 YORK ST	60059243	Residential Character-Defining Structure
108 YORK ST	60633948	Residential Character-Defining Structure
114 YORK ST	60633955	Residential Character-Defining Structure
121 YORK ST	60059235	Ecclesiastic Character-Defining Structure
129 YORK ST	60059227	Residential Character-Defining Structure
133 YORK ST	60059219	Residential Character-Defining Structure
136 YORK ST	60059490	Supporting Structure
139 YORK ST	60059201	Supporting Structure
140 YORK ST	60059508	Residential Character-Defining Structure
143 YORK ST	60059193	Residential Character-Defining Structure
157 YORK ST	60059185	Residential Character-Defining Structure
165 YORK ST	60059177	Residential Character-Defining Structure
166 YORK ST	60643335	Residential Character-Defining Structure
171 YORK ST	60059169	Residential Character-Defining Structure
171 YORK ST	60059169	Residential Character-Defining Structure
177 YORK ST	60059151	Residential Character-Defining Structure
180 YORK ST	60059557	Residential Character-Defining Structure
194 YORK ST	60059565	Residential Character-Defining Structure
201 YORK ST	60059144	Residential Character-Defining Structure
205 YORK ST	60059136	Residential Character-Defining Structure
206 YORK ST	60059573	Residential Character-Defining Structure
12 YOUNG ST	60055837	Residential Character-Defining Structure
13 YOUNG ST	60055886	Residential Character-Defining Structure
17 YOUNG ST	60055878	Residential Character-Defining Structure
18 YOUNG ST	60055845	Residential Character-Defining Structure
22 YOUNG ST	60055852	Residential Character-Defining Structure
26 YOUNG ST	60055860	Residential Character-Defining Structure

Appendix F: Individual Statements of Significance

80-82 Pelham Street

80-82 Pelham Street

Construction Date(s): 1753-1790

Alternate Name(s): Oldest House

Provincially Registered Property 2019

Description of Historic Place:

This home's structure suggests it was built by the Acadians and is known as the oldest house in Lunenburg. Built on a hillside, it has commanding harbour views and served as a Customs House in the late nineteenth century.

Heritage Value:

80-82 Pelham Street is of local and provincial significance and a contributing element to Old Town Lunenburg Heritage Conservation District.

- It is of local and provincial significance as a testament to Lunenburg's Acadian History.
Perhaps best described as a 'house-within-a-house,' 80-82 Pelham Street has an exterior built in 1790 and an interior structure with characteristics typical of early Acadian homes. Historical records confirm that this site was inhabited by Acadians in the 1600s.
- It is locally, provincially, and nationally significant as part of Lunenburg's vernacular architecture.
80-82 Pelham Street was purchased by Colonel John Anderson, a United Empire Loyalist from Pennsylvania, who expanded and renovated the property in the American New York Dutch style. Elements of this style include the Gambrel-roof, central chimney, wooden clapboard siding and large cornerboards. Built as a residence, the house served as a Customs House from 1865 to 1890 when it was owned by the Customs Officer for the Port. At this time, a separate entrance and large fixed window were added to the left bays on Pelham Street. The building then served as a post office from 1890 to 1941 when owned by Elda Dowling Romkey.

Character-Defining Elements:

Elements that evidence 80-82 Pelham Street's significance include its:

- Stone foundation;
- Wood-framed construction;
- Central brick chimney;
- Wood-clapboard cladding;
- One-and-one storey façade along Pelham Street with modified five-bay and central entrance with sidelights, along with two six-over-six windows in the right bay; and off-set double-doored entrance and fixed squared wood-window in the left bay;
- Two-and-one-half storey home along its south-facing façade;
- Gambrel roof with central bayed dormers on the north and south-facing facades, along with a pair of simple gable-roofed dormer windows on the south-facing façade; and
- Various windows within the building, typically with a six-over-six pattern.



Bandstand

0 Cumberland Street

Construction Date(s): 1987

Alternate Name(s): Heritage Bandstand

Description of Historic Place:

The Heritage Bandstand is a replica of the original 1889 bandstand built by the Lunenburg Heritage Society in 1987. It is located on the Cumberland Street side of Civic Square. The Bandstand's public functions contribute to the civic area's continuing civic and public functions and, thus, Lunenburg's continued social and economic functioning along Charles Morris' town plan.

Heritage Value:

The Bandstand is of local significance and a contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as a testament to Lunenburg's Heritage Movement.
The old bandstand was originally situated where the Town Hall now stands but was moved to its present location when Town Hall was built in 1891 to 1893. The Lunenburg Heritage Society led a detailed historical reconstruction based on the original bandstand design.

- It is locally and nationally significant as a testament to Lunenburg's community life.
The Bandstand is prominent within Old Town Lunenburg's civic square. Not only is it a local landmark, but it is also used throughout the year for public events and performances. These uses animate the Civic Square. The Bandstand is locally beloved.

Character-Defining Elements:

Elements that evidence Bandstand's significance include its:

- Public functions, for example, public concerts, gatherings, and ceremonies; and
- Aspects that replicate the 1889 design, including but not limited to its:
 - Octagonal form;
 - Wooden flooring;
 - Wooden railings;
 - Iron structure;
 - Iron decorative details, including scroll braces and finial; and
 - Octagonal dome.



Bank of Montreal

12 King Street

Construction Date(s): 1907

Alternate Name(s): N/A

Description of Historic Place:

The Bank of Montreal building is a purpose-built bank on the corner of King Street and Pelham Street in Old Town Lunenburg Heritage Conservation District. It is a rare granite classically inspired building within the district. Its recognition as a locally significant structure does not apply to the 1966 addition south of the original 1907 building.

Heritage Value:

The Bank of Montreal is of local significance.

- It is locally architecturally significant as a unique stone Neoclassical structure.

The Bank of Montreal is a local landmark built of grey Shelburne granite and one of the best examples of commercial Neoclassic architecture in Lunenburg. The bank has a cross-in-square design with a copper saucer dome elevated on a drum and a unique roof form over its entrance porch. Its ashlar masonry is complemented with classical detailing. The design makes the most of its corner location, with a principal entrance angled towards the corner of King Street and Pelham Street.
- It is locally significant as part of Lunenburg's economic history.

The building was constructed in 1907, testifying to Lunenburg's early twentieth-century economic prosperity. It is an early design by architects Frank Peden and Thomas McLaren, who worked together from 1907 to 1916. Their eponymous firm designed nineteen banks for the Bank of Montreal in every Canadian province except Alberta. The stature and solidity of the design, combined with its roughly finished masonry compared to the surrounding wooden structures, speak to the Bank of Montreal's stature and wealth as well as Lunenburg's.

Character-Defining Elements:

Elements that evidence the Bank of Montreal's significance include its:

- Overall form, especially its Byzantine cross-in-square design;
- Shelburne granite construction;
- Windows, including the placement and design of its round-headed, classically-inspired windows;
- Ashlar facing, with alternating wide and narrow courses;
- Neoclassical copper roofs, including its saucer dome, drum, gable roof and unique roof form over the original entrance;
- Neoclassical detailing, including but not limited to brackets, cornices, lintels, mouldings, pediments, oversized voussoirs, abstracted pilasters, and low-relief sculpture;
- Entrance, its placement and design; and
- Bronze plaques.



Baptist Church

47 Kaulback Street

Construction Date(s): 1884

Alternate Name(s): Sweeney's Funeral Home

Description of Historic Place:

Lunenburg's Baptist Church is a modest, heavily modified vernacular building. Standing on Kaulback Street next to Hillcrest Cemetery and Lunenburg Academy, Charles Sweeney purchased this building in 1928 and converted it into a funeral home. At the western edge of Charles Morris's original Town plan, this is the smallest of the six churches in Old Town Lunenburg Heritage Conservation District.

Heritage Value:

Baptist Church is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- Locally significant as a testament to religion's prominent role in Lunenburg's nineteenth-century public life.

This Baptist Church was built in 1884 on land conveyed to the Trustees of the Baptist Church in 1883 by Henry A. N. Kaulback. Its small size and location far from the institutional heart of Old Town Lunenburg speak to the relative power of Lunenburg's small Baptist congregation. Unlike its role in establishing Anglicanism in Nova Scotia, Old Town Lunenburg played a minor role in Baptist history. A Baptist "mother church" was built nearby in Northwest Range, now Fauxburg, from 1818 to 1820.

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

Substantially altered, the Baptist Church originally had a three-storey bell tower on its northeastern corner and long pointed windows and doors in a simplified gothic style. A moulded belt course ran across the eastern gable end or principal façade, serving as a cornice and creating a stylized pediment. The tower, belt course and a window to the south of the main entrance were all removed by 1896, resulting in a simpler meeting house style. It was remodelled again in 1905. Despite these changes, the Baptist Church retains a proportion and grace suggestive of its ecclesiastic use. Its remaining cornerboards and brackets resemble those at Northwest United Baptist Church in Fauxburg; the oldest documented Baptist house of worship in Nova Scotia.

Character-Defining Elements:

Elements that evidence Baptist Church's significance include its:

- Overall rectangular form and gable roof;
- Wooden elements, including its structure and cladding; and
- Decorative elements that predate the 1909 renovation, including its brackets, Greek revival cornerboards, raking cornice, and cornice with dentils.

Central United Church

136 Cumberland Street

Construction Date(s): 1883-1885

Alternate Name(s): Methodist Church

Municipally Registered Property 1997

Description of Historic Place:

Central United Church is a large, late-nineteenth century building on Cumberland Street, across from Civic Square. This is the second Methodist church built in Lunenburg. The first Methodist church was located on the other side of Civic Square at Prince and Townsend Streets. In 1882, the congregation elected to build a larger church on the present lot. The Methodist Church and the United Church of Canada amalgamated in 1925, and this building was renamed Central United Church.

Heritage Value:

Central United Church is of local significance and a contributing element to the Old Town Lunenburg Heritage Conservation District.

- Locally significant as a testament to religion's prominent role in Lunenburg's nineteenth and twentieth-century public life.
Lunenburg's concentration of churches, six within Old Town Lunenburg, confirm Christianity's importance in nineteenth and twentieth-century Lunenburg. The scale and location of Central United Church speak to the prominence of Methodism in Lunenburg's history. The size of the church testifies to the growing Methodist congregation Lunenburg in 1880s Lunenburg. It was called Nova Scotia's 'Cathedral of Methodism' in the keynote address of the provincial conference of the Methodist church held in Lunenburg in June 1885.
- It is locally significant as an excellent example of ecclesiastic architecture.
The congregation commissioned Dartmouth architect Edward Elliot to design Central United Church. Central United Church has a weightiness unlike any other church in Lunenburg. The youngest church in the district, its mass and mix of vertical and horizontal elements are unique. The entrance's immediacy to the street and the open interior are inviting, humanizing what might have otherwise been an overpowering structure.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
While it was architect-designed, Central United Church has numerous vernacular elements. In particular, the design encompasses Lunenburg's rich carpentry tradition, particularly notable inside the building.

Character-Defining Elements:

Elements that evidence Central United Church's significance include its:

- Impressive scale, including its height, width, compact massing, and large windows and doors, and, in particular, the principal façade's impressive height and width, measuring 17 by 34 metres;
- Overall asymmetrical composition and the composition of each façade;
- Bell tower, beginning with a square base and tapering to an octagon below the cap. Each of the eight faces is decorated with the same motif, and the tower has a bell-like cap roofed in copper. The tower's windows and entrance are aligned with and like those of the nave;
- Narrow, pointed spire rising beside a slender brick chimney;



- Smaller turret at the southern peak of the gable roof;
- Tall five-sided chancel, rising to meet the gable roof;
- Location at the street line with an entrance immediately on the street;
- Three large, pointed doors on the principal façade, the central door's slightly projecting cusped arch with the same decorative motif as the tower, creating a porch, and turned posts that flank the entrance;
- Understated wooden detailing, such as varying courses of wooden clapboard, simple corner boards, wooden window tracery, belt courses, and door and window mouldings;
- Interior, which has heavy beams, oak chancel and oak pews, all of which contribute to an overall sense of width and solidity while being inviting; and
- Windows, including the stained-glass memorial windows - four-paned, double-tiered windows centred on the front façade with single-paned double-tiered windows to either side and a round window above them; and a row of five symmetrically placed Gothic windows along either side of the nave.

C.N.R. Lunenburg Station

18 Dufferin Street

Construction Date(s): 1923

Alternate Name(s): Jaycee Station; New Train Station;

Canadian National Railway Station

Description of Historic Place:

C.N.R. Lunenburg Station is a picturesque one-and-a-half-storey wooden passenger station built by Canadian National Railway. It is located at the head of Lunenburg's back harbour trail off Lincoln Street. At its longest, the railway stretched the length of the back harbour trail to the C.N.R. station, then down Linden Avenue and along Bluenose Drive to Government Wharf. The C.N.R. Lunenburg Station is the best-preserved physical remains of Lunenburg's railway history.

Heritage Value:

C.N.R. Lunenburg Station is of local significance.

- It is locally significant as the best-preserved physical feature of Lunenburg's railway heritage.
Lunenburg has hosted many railways, including the Nictaux and Atlantic Railway (1873, heavily financed by Fletcher Wade of Bridgewater and local James D. Eisenhauer); the Nova Scotia Central Railway (1889); the Halifax and South Western Railway (1901); the Canadian Northern Railway (1906); and Canadian National Railways (C.N.R. 1918). Despite significant ballast, drainage, sleeper tie, rail, switch, and bridge upgrades under C.N.R., the line to Lunenburg had substantial curves because of Lunenburg and area's varied topography. Locals said the H, S and M of Halifax & South Western Railway line actually stood for "Hellish Slow & Wobbly." Passenger service ended on October 25, 1969. The C.N.R. station has a strong contextual relationship with traces of Lunenburg's railway system.
- It is locally significant as a well-conserved example of a Canadian National Railway station design.
This station was built by C.N.R. in 1923 to replace the Old Railway Station, which burned down c. 1920. The heritage character of the Canadian National Railway Station rests in its standard plan, its domestic scale and proportions, its detailing, and its architectural woodwork. The C.N.R.'s Tudor-Revival exterior is stylistically unique in Lunenburg, betraying its lack of local or vernacular influence.

Character-Defining Elements:

Elements that evidence C.N.R. Lunenburg Station's significance include its:

- Location on Lunenburg's Back Harbour Trail, which corresponds to the Halifax and South Western Railway railbed;
- Irregular rectangular footprint and human scale;
- Gable roof with slightly bell-cast roof, especially on its west face, with dormers;
- Western overhanging eave and porte-cochere on its southern side;
- Shallow projecting telegrapher's bay on its western elevation;
- Rhythmic placement of its apertures and brackets; and
- Tudor revival elements, especially its stucco and half-timbered exterior.

Knaut-Rhuland House

125 Pelham Street

Construction Date(s): 1793-1813

Alternate Name(s): N/A

National Historic Site of Canada 2002

Provincially Registered Property 1989

Municipally Registered Property 1983

Description of Historic Place:

The Knaut-Rhuland House is a turn of the nineteenth century two-and-a-half-storey formal, classical wood frame house on Pelham Street, between Prince and King Streets. The split staircase to the main entry gives this vernacular structure an air of grandeur. The building is named after its first two owners, merchant Benjamin Knaut and mariner Conrad Rhuland. The front of the house is built flush to the street and is situated close to its neighbours. Recognition extends to the building and surrounding property.

Heritage Value:

Knaut-Rhuland House is of local, provincial, and national significance and a contributing element to Old Town Lunenburg Heritage Conservation District because:

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
Knaut-Rhuland House is one of the best-preserved examples of British classicism applied to a residence in Canada, illustrating the lineage of later prestigious homes of either Palladian or Neoclassical style that flourished across the country in the years that followed. This is evidenced by its precise, balanced, harmonious design and formal, classical decorative details. Its interior decoration and layout are also remarkably intact. It is one of the older houses in Old Town Lunenburg and an excellent example of the architecture of the Georgian period.
- It is locally significant due to its connections to Lunenburg's foreign Protestant settlers and local political history.
Knaut-Rhuland House was built by Benjamin Knaut, a merchant and sheriff of Lunenburg. He was the son of one of the most prominent foreign Protestants to settle Lunenburg in 1753, Philip Augustus Knaut. Philip Knaut was the first elected member from Lunenburg to the Nova Scotia Assembly of Representatives. Benjamin Knaut sold this house in 1813 to Conrad Rhuland, a mariner and privateer. Rhuland was the grandson of another of Lunenburg's original settlers. In 1823, Rhuland sold the house to John W. Creighton. As Member of the Assembly for Lunenburg County, Judge of Probate, President and Speaker of the Legislative Council, and a Member of the Executive Council (Cabinet), Creighton was an important provincial politician from 1830 until he died in 1867. The Knaut-Rhuland House remained in the Creighton family until 1906.

Dates of events vary between the 1983 municipal and 1989 provincial Statements of Significance found in the Canadian Register of Historic Places. This Statement of Significance uses the Provincially Registered Property record's dates.

Character-Defining Elements:

Elements that evidence Knaut-Rhuland House's significance include its:

- Location, including its proximity to the street, with the front door opening immediately onto the sidewalk, with the bit of land surrounding the building;
- structural elements, including a thick stone foundation and post and beam frame built around two massive central chimneys;
- Overall form, including simple, compact, rectangular massing, medium pitched roof and plank wall;



- Overall composition, including balanced, symmetrical five-bay front façade with six-over-six sash windows and central doorway and its symmetrical interior layout;
- Classical exterior decorative elements, including hand-blown cylinder glass in some windows, wide cornerboards, brackets and returned eaves, side and transom windows, elliptical fanlight around the central front door, and simple trim ornamentation;
- Classical interior decorative elements, including early nineteenth-century latches and hinges, wooden mouldings and ceiling cornices, and fireplace surrounds; and
- Elements characteristic of Lunenburg buildings of the late eighteenth century and early nineteenth century, including clapboard cladding, decorative endboards and finishing boards at the basement level.

Lennox Tavern

69 Fox Street

Construction Date(s): 1791

Alternate Name(s): N/A

Provincially Registered Property 1992

Municipally Registered Property 1995

Description of Historic Place:

Lennox Tavern is a two-storey wooden building in Georgian style located on the upper slope of Lunenburg's Old Town at the corner of Fox and Cornwallis Streets. Its municipal and provincial designations include the building and surrounding land.

Heritage Value:

Lennox Tavern is of local and provincial significance and a contributing element to Old Town Lunenburg Heritage Conservation District.

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
The Lennox Tavern is a well-maintained, relatively unaltered Georgian building representing Lunenburg's late eighteenth-century architecture. It is also the largest intact Georgian dwelling in the Old Town. Built in the early nineteenth century for innkeeper John Lennox, the Lennox Tavern is one of the oldest buildings in Lunenburg and the only late eighteenth-century tavern and inn in Nova Scotia. Ironically, it was used briefly in the late nineteenth century as a Temperance House. Built on a massive stone foundation, the post and beam plank wall structure is late Georgian style. It has a balanced façade, a medium-pitched gable roof, two large chimneys and simple Classical decoration, typical of Georgian homes.

Character-Defining Elements:

Elements that evidence Lennox Tavern's significance include its:

- Prominent location, orientation to the street and proximity to the street, with the front door opening immediately onto the street;
- Appearance of order and regularity created through its symmetrical and simple ornamentation;
- Two-and-a-half storeys;
- Wood clapboard cladding with quirk beads;
- Symmetrical five-bay façade;
- Original cornerboards with quirk beads similar to clapboard siding;
- Second-floor windows flush to eave;
- Six-over-six windows;
- Central doorway with transom window and plain pediment;
- Stone foundation;
- Endboards and finishing boards at the basement level;
- Medium-pitch gable roof with wooden shingles;
- Two large symmetrical chimneys;
- Fan light windows in the attic;
- Post and beam construction.
- Nine fireplaces with original or historic Georgian-style mantels;
- Cooking stove in basement, including beehive oven;
- Original cornices and chair rails; and
- Visible corner posts.

Lunenburg Academy

101 Kaulback Street

Construction Date(s): 1893-1895

Alternate Name(s): N/A

National Historic Site of Canada 1983

Provincially Registered Property 1984

Municipally Registered Property 1983

Description of Historic Place:

Lunenburg Academy is a large, three-storey, eclectic Second Empire Style purpose-built school. Perched on Gallows Hill and surrounded by open community space, the Academy is a local landmark. Referred to as the 'Castle on the Hill,' the Academy's imposing form and prominent towers can be seen for miles around, visible from many approaches to Lunenburg, including by sea. One of Old Town Lunenburg's most striking nineteenth-century wooden buildings, the Academy's formal heritage recognition encompasses the building and its lot.

Heritage Value:


The Lunenburg Academy is of local, provincial, and national significance.

- It is nationally, provincially and locally significant as a uniquely large Second Empire Style wooden building.
Designed by prominent New Brunswick architect Harry H. Mott and built by the Oxford Furniture Company, Lunenburg Academy is a unique, largescale wooden Second Empire Style building. Built between 1893 and 1895, the Academy is one of Canada's few large-scale wooden buildings still surviving from the nineteenth century. Its unique and picturesque design makes it an excellent representation of late Victorian eclectic architecture. Its scale and design are unique relative Old Town Lunenburg's other nineteenth-century wooden structures.
- It is nationally, provincially and locally significant as a rare survivor of Nova Scotia's nineteenth-century academy education system.
Lunenburg Academy illustrates a significant stage in the evolution of Nova Scotia's education system, which developed from one-room schoolhouses into the academy system. Lunenburg Academy's design, facilities, curriculum and educators reflected the town's commitment to high-quality education. The county academies were publicly funded and offered high-quality secondary education within the public school system.
- It is a local landmark.
Referred to as the "Castle on the Hill," Lunenburg Academy is a prominent feature in Lunenburg's skyline due to its scale, form, siting and contrasting colour scheme.

Character-Defining Elements:

Elements that evidence Lunenburg Academy's significance include its:

- Prominent hilltop location at the edge of Old Town Lunenburg Historic District National Historic Site of Canada;
- Expanses of public green space around the building and prominent location on Gallows Hill overlooking Lunenburg and the surrounding area;
- Large scale of the building, standing three storeys high with cubic massing and towers, enhanced by an absence of closely neighbouring buildings;
- Picturesque elements, including its mansard roof with segmental dormer windows, massive central chimney, and towers with pyramidal roofs;

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- Variety of exterior textures and colours, including its white and black paint scheme with red roof;
 - Lively elevations with their projecting and receding masses, defined by a twelve-bay façade with projecting frontispiece flanked by towers housing entrances and nine-bay side elevations with central projecting frontispieces;
 - Lively, classically inspired ornamentation with pediments over openings, oval windows, and intricate brackets, and the horizontal emphasis of the moulded belt courses;
 - Timber frame construction;
 - All wooden elements, including wooden roof shingles, cladding, windows, doors, and trim, such as small oval portholes on the sides of each uppermost central window on the side elevations, intricate bracketry on all windows and under the eaves and decorative shingle work enriching the exterior;
 - Surviving interior configurations and ornamental detailing, including the wooden wainscoting, stairs, banisters, panelled doors with transoms, and the original hardware, including knobs and hinges; and
 - Remaining evidence of its use as a school, including the layout of classrooms and cloakrooms, interior water fountains and 1895 school bell.



Lunenburg Armouries

177 Cumberland Street

Construction Date(s): 1867

Alternate Name(s): The Armouries; Public Works

Description of Historic Place:

The Lunenburg Armouries is a relatively plain one-and-a-half-storey building with a dramatically pitched gable roof. Located close to the east-west and north-south street lines, it runs the entire length of Hopson Street between Cumberland and Townsend Streets.

Heritage Value:

Lunenburg Armouries is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as part of Lunenburg's military history.
The Armouries was built as a drill shed for Lunenburg's militia, who officially took over the building and named it the Lunenburg Armouries in 1902. Two companies of troops used the building as a headquarters and training centre before the militia reverted to the Reserve Army, and the 20th Field Squadron, Royal Canadian Engineers, took over the building.
- It is locally significant as part of Lunenburg's social history.
Because of its ample, unobstructed floor space, the Armouries was popular for meetings and social events in the late nineteenth and early twentieth century, hosting plays, performances, church bazaars, and the Lunenburg County Exhibition. Starting in 1880, it operated as a skating rink in the winter.
- It is locally significant as part of Lunenburg's political history.
Political rallies used the building as a focal point for speeches, and Sir Charles Tupper, Sir Wilfred Laurier and William Lyon Mackenzie King visited this building.
- It is locally and nationally significant as part of the best-preserved colonial settlement in North America.
Lunenburg Armouries's siting and continued public function evidence General Charles Morris's colonial plan. It is the last remaining public building on the easternmost of the four public blocks set aside for public use.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
The Lunenburg Armouries's frame was shipped to Lunenburg from Boston and raised starting May 3, 1867. Carpenters and volunteers donated their time to assemble the frame and finish the building. It testifies to Lunenburg's nineteenth-century community spirit and the competency of its builders.

Character-Defining Elements:

Elements that evidence Lunenburg Armouries's significance include its:

- Lack of setback, reinforcing Morris's Street grid;
- Location on the easternmost of Lunenburg's four civic blocks;
- Continuous public functioning according to Charles Morris's Town plan;
- Low-slung profile;



- Wooden frame and steep gable roof;
- Regular window spacing along its eastern façade;
- Vertical board and batten siding, unique outside Old Town Lunenburg’s waterfront;
- Original wooden windows; and
- Large, open interior space.

Lunenburg Fire Hall

40 Duke Street

Construction Date(s): 1928

Alternate Name(s): Old Fire Station

Description of Historic Place:

Lunenburg Town Hall is a prominent two-storey utilitarian red brick building centrally located in Old Town Lunenburg Heritage Conservation District. Its materiality is rare in Old Town Lunenburg. The Fire Hall is a crucial attribute that delimits Morris's four civic blocks from the rest of the district. Its public use is integral to the civic area's continuing civic and public functions and, thus, Lunenburg's continued social and economic functioning along Charles Morris' town plan. This designation applies to the 1928 building, not the 1950s extension.

Heritage Value:

The Fire Hall is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as part of Lunenburg's civic history.
The Town of Lunenburg's 1928 fire hall is a significant landmark in its history and a testament to its commitment to public safety. The interior of the building was designed to accommodate a modern fleet of fire trucks and equipment, as well as living quarters for the firefighters. Over the years, the fire hall was critical in protecting the town and its residents from fire emergencies. The fire department responded to numerous fires and other emergencies, including the devastating fire that swept through the town in 1948 and destroyed over 100 buildings. This was previously the site of the Town's 1889 Engine House, which also housed the Town's fire equipment.
- It is locally and nationally significant as part of the best-preserved colonial settlement in North America.
The decision to build the Fire Station on one of the civic blocks set aside in General Charles Morris's plan evidences the civic area's continuing civic and public functions. The Fire Hall's distinctiveness relative to the surrounding residential and local buildings contributes to the Civic Square's visual delineation from the rest of Old Town Lunenburg, reinforcing the district's colonial plan.
- Locally significant as a brick Art Deco building
The Fire Hall's brick construction and compact rectangular massing with flat roof are unique in a Town known internationally for its fanciful wooden vernacular buildings. The new fire hall was designed by local architect, W.C. Harris, and features a distinctive Art Deco style with a red-brick façade, flat roof, and symmetrical windows.

Character-Defining Elements:

Elements that evidence the Fire Hall's significance include its:

- Location in the institutional area as laid out in the town's original 1753 plan;
- Mass and height relative to neighbouring buildings;
- Building density relative to neighbouring blocks, the building surrounded by open and publicly accessible park space;
- Public use;
- Brick construction;



- Large garage doors; and
- Art Deco elements, such as
 - its horizontal, rectangular, geometric form;
 - its flat roof and stepped roofline on the principal façade;
 - its lack of ornament, including window trim, simple multi-paned windows, and wooden cornice; and
 - its principal façade's stepped composition with larger and more openings on the ground floor relative the windows on the upper floor above.



Lunenburg Opera House

290 Lincoln Street

Construction Date(s): 1908

Alternate Name(s): Capitol Theatre; Odd Fellows' Hall

Description of Historic Place:

The Lunenburg Opera House is a large, three-storey performing arts venue on Lincoln Street between King Street and Prince Street in Old Town. It is prominently located between Central United Church and Knaut-Rhuland House National Historic Sites.

Heritage Value:

The Lunenburg Opera House is of local significance and a character-defining element of Old Town Lunenburg Heritage Conservation District.

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
Constructed in 1908 by the Independent Order of Odd Fellows, old European Music Halls inspired the Lunenburg Opera House's design. The final building, however, incorporates shipbuilding techniques and is a testament to the ingenuity of the town's skilled shipbuilders and artisans. The Lunenburg Opera House has excellent acoustics due to careful planning and construction. The builders' attention to detail and use of unique architectural features have contributed to the building's remarkable acoustics and overall aesthetic appeal.
- It is locally and nationally significant as part of Lunenburg's cultural history.
The Lunenburg Opera House served as a multipurpose space, with the upper floor utilized as a meeting place for the Independent Order of Odd Fellows, highlighting its significance as a social and cultural hub in Lunenburg's history. The Lunenburg Opera House has been an arts and entertainment venue for over a hundred years. The first concert was held in 1909. The ground floor theatre was used as a Vaudeville concert hall until the 1940s when it became a cinema, the Capitol Theatre. Today, the Lunenburg Folk Harbour Festival owns and operates the building as a performing arts venue.

Character-Defining Elements:

Elements that evidence the Lunenburg Opera House's significance include its:

- Compact rectangular form and peaked roof;
- Symmetrical façade composition and division into three tiers using moulded belt courses ;
- Architectural detail, including its mouldings, centerboards, pilasters, window and door trim, and pediment with raking cornice, cornice, dentils, and window;
- Ground floor shopfront-type windows and doors; and
- Wooden sash windows on all façades.



Lunenburg Town Hall

119 Cumberland Street

Construction Date(s): 1891-1893

Alternate Name(s): Lunenburg Court House

Municipally Registered Property 1996

Description of Historic Place:

Lunenburg Town Hall is a prominent four-storey, Second Empire Style red brick building centrally located in Old Town Lunenburg Heritage Conservation District. Its height, mass, materiality, and the public park spaces to its east and west make it unique in the district. Town Hall is a crucial attribute that delimits Morris's four civic blocks from the rest of the district. Its public use is integral to the civic area's continuing civic and public functions and, thus, Lunenburg's continued social and economic functioning along Charles Morris' town plan.

Heritage Value:

Town Hall is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as part of Lunenburg's judicial and administrative history.
Town Hall was built as the town's administrative and judicial offices, evidencing Lunenburg's nineteenth-century strength and prosperity. In the early 1890s, there was considerable debate over whether Lunenburg or Bridgewater would be home to a new courthouse. The dispute continued even after both communities commenced the construction of their buildings. The disagreement was only resolved in 1893 with the "Act to Settle Difficulties That Have Arisen With Regard to the Courthouse in the County of Lunenburg."
- It is locally and nationally significant as part of the best-preserved colonial settlement in North America.
Town Hall evidences General Charles Morris's plan in its function, siting and design. The civic area's continuing civic and public functions include public use of Town Hall and the open spaces surrounding the building.
- It is nationally and locally significant as a brick Second Empire Building in Old Town Lunenburg.
Built in 1893 to plans by architect Henry Busch, Town Hall's exterior brick with granite embellishments is unique in a Town known internationally for its wooden vernacular structures. Town Hall's distinctiveness relative to the surrounding residential and local buildings contributes to the Civic Square's visual delineation from the rest of Old Town Lunenburg, reinforcing the district's colonial plan.

Character-Defining Elements:

Elements that evidence Town Hall's significance include its:

- Location in the institutional area as originally laid out in Old Town Lunenburg's 1753 town plan;
- Mass and height relative to neighbouring buildings;
- Building density relative to neighbouring blocks, the building surrounded by open and publicly accessible park space;
- Second Empire elements, such as the mansard roof, with projecting dormer windows and a curb at the roofline, tall round-headed windows, and on three of the four façades, central projecting pavilions with separate convex-sloping roofs, adding height;
- Brick exterior, accented with granite steps, coursing, foundation and keystones above the windows;



- Large central doorways formed by Tuscan pilasters that meet above the door in a semi-circular fanlight, with the words "Town Hall" and "Courthouse" over the Cumberland and Townsend Street entrances, respectively, reflecting the building's historic dual use;
- Significant original interior ornamental work, including entablatures and cornices over doorways, wooden stair rails, newel posts and bannisters, and wooden wainscotting; and
- Continuing civic and public functions of both the building and surrounding park space.



Masonic Lodge

120 Pelham Street

Construction Date(s): 1923

Alternate Name(s): Freemason Temple

Description of Historic Place:

The Masonic Lodge is a two-storey Greek Revival vernacular building in Old Town Lunenburg Historic District. It sports a prominent two-storey temple façade. It is located at 120 Pelham Street, across and down the street from Knaut-Rhuland House National Historic Site of Canada. Together, they speak to the evolution of classical vernacular architecture in Old Town Lunenburg.

Heritage Value:

The Masonic Lodge is of national and local significance.

- It is locally significant as a part of Lunenburg's social history.
This impressive building was built in 1923 by the Freemasons as a meeting hall and office building. The largest and oldest men's Fraternity in the world, freemasonry arrived in Canada via Nova Scotia in 1738. The scale and architectural grandeur of this building speak to the prominence of the Freemasons. The building continues to serve as a Masonic Lodge today.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
One of Lunenburg's preeminent wooden Classical buildings, the Masonic Lodge is architecturally unique. Lunenburg's preeminent vernacular interpretation of the Greek Revival Style is a late example of a relatively rare style in Nova Scotia. The Masonic Lodge has features unique from other classical revival buildings in the district. Particularly notable is its temple front with six two-storey ionic pilasters.

Character-Defining Elements:

Elements that evidence the Masonic Lodge's significance include its:

- Lack of setback, reinforcing Morris's Street grid;
- Overall compact form, especially its mass, height, and symmetrical plan;
- Principal façade design, including its placement of windows, doors and details, especially its symmetry;
- Temple front, including triangular pediment and two-storey ionic pilasters;
- Classical and Greek Revival elements, including but not limited to its entablature, lintel, frieze, cornice, mouldings, dentils, and segmental pediment over and wide trim around the principal entrance;
- Wooden elements, including its structure, cladding and decorative details; and
- Details that speak to its function as a masonic lodge. This includes the hexagram in a round window under the peak of the pediment of the temple façade.



Nova Scotia Telephone Co. Building

187 Lincoln Street

Construction Date(s): 1931

Alternate Name(s): Maritime Telegraph and Telephone

Company Building; Bell Building

Description of Historic Place:

Located at 187 Lincoln Street, this two-storey building was constructed by Nova Scotia Telephone Co. in 1931. While the construction materials used are rare in Old Town Lunenburg, the style and bulk of the building are not entirely out of character in the streetscape. This recognition applies to the footprint of the building. This recognition does not apply to the 1953 rear addition or the vacant land east of the building.

Heritage Value:

The Nova Scotia Telephone Co. Building is of local significance.

- It is locally significant as the best-preserved building testifying to Lunenburg's telecommunication history.

At the turn of the twentieth century, the Nova Scotia Telephone Company was the largest telephone provider in Nova Scotia, servicing approximately three times the Nova Scotians of any other company. A provincial Act of Incorporation established it on May 3, 1887. After acquiring Bell Telephone Company's Nova Scotian telephone and telegraph operations on November 28, 1887, the Nova Scotia Telephone Company continued to grow. In 1910, the Maritime Telegraph and Telephone Company (M.T.T.) consolidated all major telephone companies in Nova Scotia and was in service until 1998.

Character-Defining Elements:

Elements that evidence the Nova Scotia Telephone Co. Building's significance include its:

- Brick exterior with stone keystones, window sills and window headers;
- Compact rectangular form and massing, including its flat roof;
- Oversized foundation, much taller than most in Old Town Lunenburg;
- Four equally and regularly spaced, vertically oriented round-headed windows on the first floor;
- Four equally and regularly spaced vertically oriented rectangular windows on the second floor centred over the round-headed windows below; and
- Utilitarian character, in particular, its lack of decoration.



Royal Bank

84 Pelham Street

Construction Date(s): 1906

Alternate Name(s): N/A

Description of Historic Place:

The Royal Bank is a two-storey sandstone-faced building at the southeastern corner of the Pelham Street and Duke Street intersection in Old Town Lunenburg Heritage Conservation District. This recognition applies to the footprint of the building. It does not include the vacant land to the south of the building.

Heritage Value:

The Royal Bank is of local significance.

- It is locally architecturally significant as a unique stone Neoclassical structure.

The Royal Bank has a bold Neoclassical façade. The building's sense of solidity, created through, for example, its sandstone facing and wide roughly hewn corner pilasters, projects a strength becoming of a banking institution. It is a rare stone building in Lunenburg, and the engaged columns flanking the entrance are unique within Old Town Lunenburg Heritage Conservation District.
- It is locally significant as part of Lunenburg's economic history.

This property was sold by John Henry Wilson to the Royal Bank of Canada upon its amalgamation with Halifax's Merchant Bank to erect a new building. This grand edifice testifies to the power of the Royal Bank of Canada at the time, as well as Lunenburg's prosperity. Henry Wilson's son, Morris Wilson, started work in the Merchants Bank at fifteen years old and rose to become president of the Royal Bank of Canada from 1934 until he died in 1946.

Character-Defining Elements:

Elements that evidence the Bank of Royal Bank's significance include its:

- Compact rectangular massing and overall symmetrical composition;
- Sandstone cladding, including smooth and rough ashlar;
- Stone foundation that does not follow the grade of Duke Street, effectively ignoring Lunenburg's typography such that the 'temple' bank appears to sit on a plinth;
- Symmetrical temple façade, including corner two-storey pilasters, two-storey engaged columns and triangle pediment;
- Window and door openings and surrounding trim and ornament, including, but not limited to, the oversized fluted ornamental keystones above round-headed windows and the carved panels below; and
- Classical detailing, including but not limited to entablature, cornice, mouldings, columns, and pilasters.

Solomon House

69 Townsend Street

Construction Date(s): 1775-1797

Alternate Name(s): N/A

Provincially Registered Property 1996

Municipally Registered Property 1983

Description of Historic Place:

Built to the streetline, Solomon House is located on the corner of Townsend and Cornwallis Streets

Heritage Value:

Solomon House is of local and provincial significance and nationally significant as a contributing element to the Old Town Lunenburg Heritage Conservation District:

- It is locally significant for its associative value.
The house was built in the late eighteenth century for merchant and sawmill owner Henry Koch. The building passed to the Rudolph family and then in 1849 to George T. Solomon, a local judge and well-known figure in Nova Scotian legal circles.
- It is locally, provincially and nationally significant as part of Lunenburg's vernacular architecture tradition.
Solomon House is an excellent example of Georgian building techniques in Lunenburg, particularly the British Classical tradition. The building has a symmetrical appearance, giving it a sense of repose, orderliness, and prosperity. It is a large building located at the streetline, with a five-bay facade and a massive stone foundation.

Character-Defining Elements:

Elements that evidence Solomon House's significance include its:

- Structural elements in the Georgian tradition, including the massive stone foundation, the symmetrical appearance of the house, with five balanced bays, two central chimneys and a central door, the orientation of the interior rooms around a central staircase and central fireplaces, a medium pitched roof and post and beam with plank wall construction;
- Decorative elements of the Georgian tradition, including moulded eaves return, balanced, six-over-six windows, tight under the eaves, finishing board at basement level and wide, fluted cornerboards, side and transom windows around the central front door, and reed trim ornamentation; and
- Elements characteristic of Lunenburg buildings of the late eighteenth century and early nineteenth century, including clapboard cladding, with endboards and finishing boards at the basement level, and close proximity to the street, with the front door opening immediately onto the street, with little land surrounding the building.

St. Andrew's Presbyterian Church

111 Townsend Street

Construction Date(s): 1828

Alternate Name(s): N/A

Municipally Registered Property 1990

Description of Historic Place:

St. Andrew's Presbyterian Church is located on Townsend and King Streets, across from Lunenburg Town Hall in Old Town Lunenburg Heritage Conservation District. Built in 1828, it is a Carpenter Gothic church clad in clapboard with a prominent steeple. The south side of the nave is flush with the Townsend street line.

Heritage Value:

St. Andrew's Presbyterian Church is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District:

- It is locally significant as a testament to religion's prominent role in Lunenburg's nineteenth- and twentieth-century public life.

Lunenburg's concentration of churches, six within the Old Town Lunenburg Heritage Conservation District, testify to Christianity's importance in nineteenth and twentieth-century Lunenburg. St. Andrew's Presbyterian church is home to the oldest Presbyterian congregation in Canada. This congregation's status is manifested in the church's location adjacent to an area designated by the original 1753 town plan as the institutional core of the town, with the town hall, courthouse, and Anglican church.

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

Primarily built by local carpenters, St. Andrew's is an excellent example of Carpenter Gothic, a North American vernacular style that translated Gothic massing and detailing into wooden structures. Built in 1828, the original church was designed by Mr. Dechman, a master carpenter and member of St. Matthew's Presbyterian Church in Halifax and built by Mr. Grant. In 1879, the church was substantially renovated: the spire's height was increased to 118 feet, the church was lengthened to 83 feet, broadened to 40 feet, and a row of six Gothic windows fronting Townsend were added. In 1909, further renovations were carried out on the interior, and the chancel was added to the church's eastern end.

Character-Defining Elements:

Elements that evidence St. Andrew's Presbyterian Church's significance include its:

- Siting, with the south side of the nave flush with the Townsend street line;
- Elements relating to the prominence of the church and congregation in Lunenburg, including its central location adjacent to the institutional area of Old Town Lunenburg Heritage Conservation District as originally laid out in Old Town Lunenburg's 1753 plans.
- Gothic elements, including its:
 - Tall central tower with small, paired gablets on each side;
 - Pointed arch doors and windows;
 - Hooded ornamentation on the doors and windows;
 - Large three-paned central window with tracery on the tower;
 - Steep fully hipped bell cast gable roof with an end gable over the three-sided chancel; and
 - Stained glass.

St. Andrew's Presbyterian Church Hall

114 Fox Street

Construction Date(s): 1879

Alternate Name(s): N/A

Description of Historic Place:

This Neo-Gothic Church Hall is a former schoolhouse built before 1879 and moved to its current location in 1909. It was also enlarged at this time, with two new bays added to the east end of the building.

Heritage Value:


St. Andrew's Presbyterian Church Hall is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District:

- It is locally significant as a testament to Lunenburg's educational history.
Formerly a schoolhouse, St. Andrew's Presbyterian Church Hall speaks to Lunenburg's early education history. Until the mid-nineteenth century, education in Lunenburg was provided by church schools and private schools like St. Andrew's Presbyterian Church Hall. On October 25, 1864, Lunenburgers met and unanimously agreed to build a public school. Together with the Lunenburg Academy, St. Andrew's Presbyterian Church Hall provides an architectural example of the evolution of education in nineteenth-century Nova Scotia from small, private schoolhouses to the Academy system.
- It is locally significant as a testament to religion's prominent role in Lunenburg's twentieth-century public life.
St. Andrew's Presbyterian Church Hall testifies to the strength of Lunenburg's Presbyterian congregation at the beginning of the twentieth century. Formerly located east of St. Andrew's Presbyterian Church, this former school was moved to Fox Street in 1909. The building accommodated the church's growing congregation, serving as a church hall and Sunday School, and allowed for a chancel to be added to the east end of St. Andrew's Presbyterian Church. St. Andrew's is home to the oldest Presbyterian congregation in Canada.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
St. Andrew's Presbyterian Church Hall is an excellent example of Carpenter Gothic, an important North American vernacular style that translated Gothic massing and detailing into wooden structures. The hall's overall composition has remained intact since at least 1879, expanding from three bays to five bays in 1909. Presumably, the main Gothic entryway was also added at this time. The hall shares many architectural features with St. Andrew's Presbyterian Church, with its striking hooded ornamentation visible in Bollinger's 1890 map of Old Town Lunenburg Heritage Conservation District.

Character-Defining Elements:

Elements that evidence St. Andrew's Presbyterian Church Hall's significance include its:

- Siting, with the south side of the nave flush with the Townsend street line;
- Elements relating to the prominence of the church and congregation in Lunenburg, including its proximity to St. Andrew's Presbyterian Church and the civic blocks;
- Gothic elements, including its:

- 
- Steep gable roof;
 - Pointed Gothic arched windows with tracery;
 - Pointed Gothic arched principal entry;
 - Round window in the hall's west gable end;
 - Hooded ornamentation on the main door and windows; and
 - stained glass; and
 - Carpentry elements, including all wooden windows, doors, trim, detail, structure, and cladding, including the frieze and cornices with dentils and gothic tracery.

St. John's Anglican Church

2 Cumberland Street

Construction Date(s): 1754-1763

Alternate Name(s): N/A

National Historic Site of Canada 1994

Provincially Registered Property 1983

Municipally Registered Property 1983

Description of Historic Place:

St. John's Anglican Church National Historic Site of Canada is a large, white wooden Carpenter Gothic church in the heart of Old Town Lunenburg Heritage Conservation District. An important symbol of Lunenburg, it has continually evolved over approximately two hundred and fifty years. It was originally constructed from 1754 to 1763, shortly after Lunenburg's settlement. It was enlarged in 1840, again through the 1870s, and again in 1889. After a disastrous fire in 2001, the structure was rebuilt from the surviving ruins. Official recognition refers to the church and its surrounding green space, particularly its western public square.

Heritage Value:

St. John's Anglican Church is of local, provincial, and national significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally and nationally significant due to its establishment of the Church of England and British authority in eighteenth-century Nova Scotia following Morris's original Town plan.
Construction of St. John's Anglican Church began in 1754, making it the second oldest Anglican Church in Canada after St. Paul's Church in Halifax. As such, it played a significant role in establishing the Church of England in Nova Scotia. As a British colonial settlement, St. John's Anglican got a choice location within the civic blocks set aside by Charles Morris in his Town Plan. As the establishment of Britain's sacred authority in its new colonial settlement, St. John's Anglican significantly contributes to Lunenburg being the best-preserved colonial settlement in North America, as does the church's continued community use.
- It is a locally, provincially, and nationally significant example of Carpenter Gothic.
Carpenter Gothic is the translation of Gothic massing and detailing into wood, primarily by local carpenters, and thus is a valuable North American vernacular tradition. Throughout its history, much of the work on St. John's Anglican Church was done by local shipbuilders, a reflection of Lunenburg's close tie to the sea. Originally St. John's Anglican's congregation was mainly German and French-speaking "Foreign Protestants" who founded the town. The early form of the church closely resembled a New England meeting house with a round conical tower, like German churches. Gothic elements started to be added in 1840, including a tower. The frame was sent from Boston where it was part of King's Chapel. During Nova Scotia's lucrative 'Age of Sail,' St. John's Anglican was enlarged and took on additional Gothic elements under the direction of Halifax architects Sterling and Dewar. The church was again enlarged in 1892, with local master carpenter Solomon Morash as the chief contractor. It was expanded again c. 1915.
- It is locally significant, a symbol of Lunenburg's resilience and history.
In 2001, St. John's Anglican suffered a devastating fire. Over 50% of the church's historic fabric was lost. Following a four-year restoration, the church was returned to its pre-fire appearance. Wherever possible, the remaining historic fabric was integrated with new materials. The emotional effect of the fire and the church's subsequent restoration testify to its importance to the local community. St. John's Anglican's style, location, long history, and continued community use have made it a local landmark.



Character-Defining Elements:

Key elements contributing to the heritage character of St. John's Anglican Church include its:

- Location in the centre of Old Town Lunenburg Heritage Conservation District on one of the four town blocks set aside by Morris for public structures and functions;
- Proximity to St. John's Parish Hall and Rectory;
- Open landscaping with lawns, paths, benches and a memorial to the first outdoor religious service held on-site;
- Landmark status, including its scale, compared to the restrained scale of surrounding buildings;
- Foundations and ground floor traces of various construction phases; and
- Carpenter Gothic massing, including its basilica plan with side aisles and chancel under a steep gable roof, and its twin and central towers.

Exterior character-defining elements of St. John's Anglican Church relate to all pre-2001 and restored elements, including its:

- Principal façade composition with a rose window and twin towers;
- Carpenter Gothic detailing, including pinnacles, turrets, buttresses, pointed arches, doors, windows, drip mouldings and shingle cladding;
- White and black colour scheme;
- Exterior sign "St. John's Anglican Church of Canada welcomes You;" and
- Copper roof.

Interior character-defining elements of St. John's Anglican Church relate to all pre-2001 and restored elements and include its:

- Plaster walls;
- Ornamental painting, including the hand-painted east wall of the chancel, stars on the chancel ceiling, banners over arches, between the nave and chancel, and over the nave entrance, faux marble finish on columns, and gold leaf on columns in the nave and chancel;
- Hammer-beam roof supports with curved principals and collar beams;
- Historic wall plaques;
- Pews, book racks and kneelers;
- Wooden floorboards;
- Two historic stained glass windows, including the "Fishers of Men" window, and thirteen windows that were restored using pieces of original stained glass;
- 1926 oak altar;
- Concrete baptismal font;
- Pulpit;
- 1902 bronze bells;
- Support columns covered by faux marble encasement; and
- Crypt containing remains of twenty-two parishioners.

St. John's Parish Hall

65 Cumberland Street

Construction Date(s): 1775

Alternate Name(s): Old Lunenburg Court House

Municipally Registered Property 1989

Description of Historic Place:

St. John's Parish Hall is located across the street to the west of St. John's Anglican Church's public square and to the east of St. John's Rectory in Old Town Lunenburg Heritage Conservation District. Built in 1775, it is a one-and-a-half-storey wooden building with symmetrically placed lancet windows on all sides and a low-pitched, hipped roof.

Heritage Value:

St. John's Parish Hall is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as part of Lunenburg's judicial history and locally and nationally significant as a testament to Lunenburg's early colonial settlement.

As the town's original courthouse, this building was central to establishing peace and order in the new British colonial settlement. It was used as a courthouse for more than 100 years until a new courthouse was constructed one block to the east. The Royal Coat of Arms inside, dating to 1801, is one of the oldest of its kind in the province. The building visually borders the western edge of St. John's Anglican church's square, delineating the boundary of Charles Morris's original four public blocks per his 1753 Town Plan and foregrounds the authority of the British monarch in eighteenth-century Lunenburg.
- It is locally significant as a testament to religion's prominent role in Lunenburg's nineteenth and twentieth-century public life.

Old Town Lunenburg Heritage Conservation District's concentration of religious buildings testifies to Christianity's importance in nineteenth and twentieth-century Lunenburg. St. John's Parish Hall speaks to the prominence of Anglicanism in Lunenburg's history. The building was bought in 1902 by St. John's Parish. The newly acquired hall was extensively renovated, removing the dormers, and relocating the principal entrance. Southern and western wings were added in 1906 and 1964, respectively.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

Built in 1775, Parish Hall is a relatively rare example of eighteenth-century vernacular architecture compared to the predominantly nineteenth-century vernacular building stock. Locally constructed and renovated without the guidance of a trained architect, the longevity of this structure speaks to Lunenburg's high-quality carpentry.

Character-Defining Elements:

Elements that evidence St. John's Parish Hall's significance include its:

- Location, including its siting at the street line and proximity to St. John's Anglican Church and Rectory;
- Simple form, reminiscent of its Georgian roots;



- Wooden construction and detailing, including its clapboard siding, wooden fluted corner boards and windows, doors and trim;
- Southern wing;
- Gothic details, including its hooded lancet windows and wide entrance doors with centre-pointed transom windows; and
- interior features, especially the mural of the Royal Coat of Arms of King George III, dating to the building's use as a courthouse.

St. John's Rectory

59 Townsend Street

Construction Date(s): 1810-1816

Alternate Name(s): St. John's Anglican Church Rectory

Municipally Registered Property 1989

Description of Historic Place:

Located immediately on the sidewalk beside St. John's Parish Hall, the St. John's Rectory is a two-storey wooden structure built between 1810 and 1816. It is Georgian in design, with some ornamentation and additions from the 1880s.

Heritage Value:

St. John's Rectory is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as a testament to religion's prominent role in Lunenburg's nineteenth-century public life.
Lunenburg's concentration of religious buildings testifies to Christianity's importance in nineteenth and twentieth-century Lunenburg. St. John's Rectory speaks to the prominence of Anglicanism in Lunenburg's history. St. John's Rectory is valued for its long association with St. John's Anglican Church and its rectors.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
The Rectory is a typical early nineteenth-century home with some Victorian-era additions. Despite these changes, the building retains its underlying Georgian character.

Character-Defining Elements:

Elements that evidence St. John's Rectory's significance include its:

- Proximity to St. John's Anglican Church and Parish Hall and siting at the street line;
- Georgian vernacular design elements, such as the overall symmetrical façade compositions, wooden cladding with wooden fluted corner boards, two symmetrically placed large chimneys, and classical trim around the central doorway on the main façade; and
- Victorian vernacular design elements, including doors, bracketry, lintel, ornamentation and prominent window hoods, and the ell on the western end of the building.

St. Norbert's Roman Catholic Church

121 York Street

Construction Date(s): 1839

Alternate Name(s): N/A

Municipally Registered Property 1999

Description of Historic Place:

St. Norbert's Roman Catholic Church is an L-shaped Georgian wooden church. It is situated on the corner of York and King Streets in Old Town Lunenburg, a Heritage Conservation District. The steeple is particularly noteworthy. Designation extends to the building and its property, including a small cemetery adjacent to the church. It does not apply to the 1982 addition.

Heritage Value:

St. Norbert's Roman Catholic Church is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as a testament to religion's prominent role in Lunenburg's nineteenth- and twentieth-century public life.

Lunenburg's concentration of churches, six within the Old Town Lunenburg Heritage Conservation District, testify to Christianity's importance in nineteenth and twentieth-century Lunenburg. St. Norbert's speaks to the changing fortunes of Roman Catholicism in Lunenburg. Built in 1839, St. Norbert's is the centre of the Roman Catholic community in Lunenburg. In the 1890s, the dwindling number of parishioners caused St. Norbert's to close its doors for forty years. However, in the 1930s, an influx of Catholic fishermen from Newfoundland arrived in Lunenburg, and the church was reopened. Its simplicity and small scale relative to Lunenburg's other churches speak to the congregation's smaller size and lesser social and economic influence in nineteenth and twentieth-century Lunenburg.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

St. Norbert's is an eclectic vernacular interpretation of British and New England Victorian styles with Lunenburg's carpentry tradition. Sometime after 1890, the original tower was shortened to today's form, a unique witch's hat shape with decorative modillions surrounding the lower edge.

Character-Defining Elements:

Elements that evidence St. Norbert's Roman Catholic Church's significance include its:

- Location at the street line with an entrance immediately on the street;
- Green space, including the only intact cemetery on church property in Lunenburg;
- Scale and mass of the building, including its roofline, tower, and symmetrically placed buttresses, and its modest size and height relative to Lunenburg's other historic churches;
- Unique steeple in a witch's hat shape with ornamental modillions;
- Wooden shingle exterior;
- All wooden elements and ornamentation, including lancet windows, round-headed louvred windows, brackets, mouldings and trim; and
- Relatively simple and unadorned interior.

Zion Evangelical Lutheran Church

65 Fox Street

Construction Date(s): 1890-1891

Alternate Name(s): Zion Lutheran Church

Provincially Registered Property 1996

Municipally Registered Property 1990

Description of Historic Place:

Zion Evangelical Lutheran Church is a large wooden church on a stone and concrete foundation in Old Town Lunenburg Heritage Conservation District. It has a tall steeple at its Fox Street corner, a second tower at its southwest corner, and green space on the western side of the building. The York Street façade has an addition at its western end. The designation includes the building and surrounding property.

Heritage Value:

Zion Evangelical Lutheran Church is of local and provincial significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally and provincially significant as a testament to the history of Lutheranism in Canada.
Described as the 'Rock of Lutheranism,' the Zion Evangelical Lutheran Church is valued as the home of Canada's oldest Lutheran congregation. When German Lutheran settlers first arrived in 1753, the settlers held services in the open air and later at St. John's Anglican Church. The first church on this site was built in 1772. The first church was replaced with a Gothic building in 1841, followed by the present church, built from 1890 to 1891. The current church's commanding scale and vertical composition speak to the fundamental importance of the Lutheran congregation in Lunenburg from its settlement to the present day.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
Zion Evangelical Lutheran Church was designed by prominent Halifax architect David Busch and built by George W. Beohner & Sons. This grand edifice is an architectural landmark in Old Town Lunenburg, with a steeple that can be seen for kilometres, including from the harbour. Two asymmetrical towers flank the principal façade, each with a different design. The dentil courses and stained-glass windows are among the most noticeable elements of the long nave, which runs the length of the eastern block line. An ornately decorated gable end faces Fox Street. The large hall to the rear of the church, known as Artemus Hall, was added in 1946.

Character-Defining Elements:

Elements that evidence Zion Evangelical Lutheran Church's significance include its:

- Continued service to the Lutheran community;
- Visual prominence and vertical composition, including its scale and height, steep gable roof, spire and towers;
- Varied façade compositions, including its asymmetrical principal façade;
- Proximity to the street line and surrounding homes, which suggests a close-knit relationship with the community;
- Western pyramidal tower with circular and lancet windows, finial and louvred gablet;
- Eastern tower with a tall spire, Saint Antoine-Marie bell, small louvred gablets on each side, and lancet windows on each storey and main entrance.
- Different window styles throughout the building, including round windows, pointed gothic windows in various combinations such as paired, triplicate or groups of four; a unique triangular attic window with curved edges in the gable end; and pointed transom windows over the entrances;



- Stained glass windows;
- Strongly defined entranceways, one elevated from the street in the eastern tower, the other at ground level in the western tower, including double-hung doors and pointed arch transom windows;
- Wooden trim, clapboard cladding and decoration, including dentil courses at each storey and moulded belt courses;
- The exterior of Artemus Hall, located at the northern end of the church;
- The key to the building and the Saint Antoine-Marie bell as the only remains of the first Lutheran church; and
- Interior wooden elements, wainscotting, mouldings and trim, the roof's structure and decoration, and the screen separating the nave from Artemus Hall.



Appendix G: Definitions

Accessory Building: A separate building located on the same lot as the main building or principal use, and of a nature customarily and clearly subordinate and incidental to the main building or main use of land.

Authenticity: The truthfulness, credibility or historical and cultural veracity between heritage values and character-defining elements. The ability of a property to convey its heritage value truthfully, credibly, or genuinely. UNESCO has deemed Old Town Lunenburg authentic in its location and setting, forms and designs, materials, and substances, and uses and functions.

Baseline: The area above grade and below storefront windows on historic commercial buildings.

Certificate of Appropriateness: The permit by which the Heritage Officer certifies that a proposed development conforms with the requirements of the Old Town Lunenburg Heritage Conservation District Plan and By-law.

Character-Defining Element: Note that character-defining elements can exist at different scales. For example, a historic building may be considered a character-defining property and have its own subset of character-defining elements, such as a unique style or decorative program.

Character-Defining Structure: Character-defining structures are those that exemplify Lunenburg's vernacular architectural tradition or otherwise significantly contribute to the heritage value of the Old Town Lunenburg Heritage Conservation District.

Close Inspection: Analysis by a trained eye at different distances. The Old Town Lunenburg Heritage Conservation District By-law includes three distances: within touching distance, from across the street, and from the nearest intersection.

Compatible: Ability to blend harmoniously with the surrounding area's existing character-defining elements and heritage value. Achieving compatibility involves considering architectural style, scale, material, design details, and overall visual and symbolic impact.

Complete Application: An application which the Heritage Officer has acknowledged as complete pursuant to subsection 19G(3) of the *Heritage Property Act* and Section 10.2 of this By-law.

Conservation: The overarching term for protecting historic places in Canada is Conservation. It includes all actions or processes that are aimed at safeguarding the character-defining elements of a historic place to retain its heritage value and extend its physical life. This includes preservation, rehabilitation, restoration, or a combination of these actions or processes.

Cultural Landscape: any geographical area that has been modified, influenced, or given special cultural meaning by people, and that has been formally recognized for its heritage value.

Distinguishable: Ability to discern contemporary interventions from historic fabric.



District Residents: Anyone who lives or works within the boundaries of Old Town Lunenburg Heritage Conservation District. This deliberately encompasses more than property owners.

Frontispiece: Decorated bays combined of elements such as extended dormers, enclosed porches, porticos, projecting bays, or towers, give the Old Town of Lunenburg a unique visual character. Except in rare exceptions, they are located on the front façade and generally highlight the main entrance. Opening types in the frontispiece might differ from the rest of the façade and decorative elements might be more affluent on the frontispiece to accentuate its presence.

Heritage Advisory Committee: The Committee, appointed by Council, to serve as the Town of Lunenburg’s Heritage Advisory Committee under the Nova Scotian *Heritage Property Act*.

Heritage Character Area: An area within Old Town Lunenburg Heritage Conservation District recognized for its distinct heritage attributes and/or contribution to the district as a whole. There are five heritage character areas in Old Town Lunenburg Heritage Conservation District: Civic Heritage Character Area, Commercial Heritage Character Area, Residential Heritage Character Area, Waterfront Heritage Character Area, and the Transition Area.

Heritage Designation: The umbrella term for any recognition of heritage value under any law or charter to which the Town of Lunenburg is subject. This includes but is not limited to municipal heritage property designations, provincial heritage property designations, national historic designations, and inscription on lists like the World Heritage List.

Heritage Officer: The person or persons delegated by Council to act as Heritage Officer for the Town of Lunenburg per the Nova Scotian *Heritage Property Act*.

Heritage Value: The aesthetic, historic, scientific, cultural, social, or spiritual importance or significance for past, present, and/or future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

Independent Technical Advisor: A qualified and experienced professional who provides impartial and expert guidance on matters related to heritage conservation. An independent technical advisor has specialized knowledge and insights drawn from disciplines such as but not limited to architecture, archaeology, engineering, materials science, history, and conservation ethics.

Integrity: The wholeness and intactness of the district and its character-defining elements. Integrity requires conserving all character-defining elements that express the district’s heritage values, ensuring the district geographically and legislatively encompasses all features and processes that contribute to its heritage value and do not suffer from adverse effects of development and neglect. The Integrity of Old Town Lunenburg Heritage Conservation District’s outstanding universal value includes: its character-defining elements as expressed in the district’s statement of significance, its boundary that encompasses all character-defining elements, its transition area that provides a protective buffer around Old Town Lunenburg Heritage Conservation District, and its responsible management that protects it against unduly suffering from insensitive development or neglect.

Irreversible Structural Damage: Structural damage that cannot be reversed except at prohibitive expense.



Locally Significant Structures: Structures with a high level of local heritage significance regardless of their alignment with the heritage value of Old Town Lunenburg Heritage Conservation District as a whole and are thus afforded heritage protection under this Plan and By-law.

Lot: Any parcel of land described in a deed or as shown on a registered plan of subdivision.

Lot Line: A boundary line of a lot.

Lunenburg Bump: An extended, overhanging five-sided dormer, a local derivation of the five-sided Scottish dormer.

Main Building: The building designed for the principal use on the lot.

Municipal Heritage Property: A building, public-building interior, streetscape, cultural landscape, or area registered in a municipal registry of heritage property.

Neo-Vernacular: Contemporary interpretations of vernacular architecture. This includes sensitively combining contemporary technology and building techniques with local materials, styles, ornament, and traditional construction methods (see also Vernacular Architecture).

Old Town Lunenburg Heritage Conservation District: The area regulated under the Old Town Lunenburg Heritage Conservation District Conservation Plan and Bylaw as demarcated on Map 1 Old Town Lunenburg Heritage Conservation District Boundary.

Old Town Lunenburg Heritage Conservation District Statement of Significance: The statement, as recognized by the Town of Lunenburg, that describes Old Town Lunenburg Heritage Conservation District, identifies its heritage values, and lists its character-defining elements. The Statement of Significance applies to the area designated as a Heritage Conservation District under the *Heritage Property Act*.

Outbuilding: See Accessory Building.

Outstanding Universal Value (OUV): Cultural significance, as recognized by UNESCO's World Heritage Committee, which is so exceptional as to transcend national boundaries and to be of common importance to present and future generations of all humanity.

Preservation: The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place, or an individual component while protecting its heritage value. Preservation includes maintenance.

Principal Façade: Principal building elevation, usually facing the street and includes a main entrance.

Principal Roof: Most prominent roof on a building, normally with the tallest peak and greatest area.

Provincial Heritage Property: A building, public-building interior, streetscape, cultural landscape or area registered in the Provincial Registry of Heritage Property.



Public Realm: Any street, sidewalk, laneway, park, privately owned, publicly accessible open space, or other public space.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component while protecting its heritage value. Includes retrofit for new uses, aka adaptive re-use.

Replace In-Kind: The action or process of replacing a deteriorated element of a historic place to the exact same specifications, protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering, or representing the state of a historic place or of an individual component as it appeared at a particular period in its history while protecting its heritage value. The action or process of returning a historic place to its state at a specific moment in time.

Sensitive Infill: A strategy through which additional growth can be accommodated without changing the community appearance of the streetscape's built environment by accommodating compatible new structures on existing vacant lots or those created through subdivision. Sensitive infill must meet the Design Guidelines under the Old Town Lunenburg Heritage Conservation District By-law.

Setback: The horizontal distance between the specified lot line and the nearest main wall of any building or structure and extending the full width or length of the lot.

Statement of Significance: A concise statement of the heritage value of a historic place. In Canada, this includes a brief description of the historic place, a statement of heritage values, and a list of character-defining elements. *See also Statement of Outstanding Universal Value and Old Town Lunenburg Heritage Conservation District Statement of Significance.*

Statement of Outstanding Universal Value: A concise statement of the Outstanding Universal Value of a historic place, as recognized, approved and/or prepared by UNESCO's World Heritage Committee and/or World Heritage Centre.

Street: The whole and entire right-of-way of every highway, road, or road allowance vested in the Province of Nova Scotia or the Town, but does not include a controlled-access highway.

Street Line: The dividing line between a lot and a street.

Style (Architectural): Architecture of a specific period distinguishable by shared form, shape, or ornament, including specific types of doors, windows, and roofs.

Subdivision: The division of any area of land into two or more parcels, and includes a resubdivision or a consolidation of two or more parcels. Subdivision must comply with the Town of Lunenburg *Subdivision By-law*.

Supporting Structure: New or extant buildings or properties whose history does not merit conservation, yet whose sensitive management contributes to the district's authenticity.



Vernacular Architecture: Architecture made locally by inhabitants; made using local materials and traditional construction methods and ornament; specific to a region or location (see also Neo-vernacular Architecture).

Widow's Walk: A railed platform atop a roof, typically on a coastal house, that was used to look out for returning ships.

**OLD TOWN LUNENBURG
HERITAGE CONSERVATION
DISTRICT BY-LAW
2023**



Navigating the
Future. Together.



TOWN OF LUNENBURG HERITAGE CONSERVATION DISTRICT BYLAW, 2023

First Reading:

Second Reading:

Approved by the Minister of Municipal Affairs:

Notice of Effect:

With Amendments to:



Changelog

Reference Code	File or Application Number	Council Adoption Date	Enacted Date	General Description of Change
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Old Town Lunenburg Heritage Conservation District By-law

Section 1 Title, Purpose, and Scope

1.1 Title

- (a) This By-law shall be known and may be cited as the Old Town Lunenburg Heritage Conservation District By-law.
- (b) This By-law may also be cited as “By-law” when used self-referentially within this text or the Old Town Lunenburg Heritage Conservation District Plan.

1.2 Purpose

- (a) This By-law carries out the intent of the Old Town Lunenburg Heritage Conservation District Plan by regulating the built-form character of Old Town Lunenburg Heritage Conservation District.

1.3 Authority

- (a) This By-law is passed under the authority of the Nova Scotia *Heritage Property Act* (1989), as amended from time to time.
- (b) The highest or most restrictive applicable provision of this By-law shall prevail in the interpretation and application of this By-law.

1.4 Content

- (a) The appendices attached to this By-law are hereby declared to form part of this By-law.

Section 2 Words, Definitions and Measurements

2.1 Words

In this By-law:

- (a) The word ‘shall’ means mandatory compliance;
- (b) The word ‘may’ means discretionary compliance or a choice in applying a policy or regulation;
- (c) ‘Owner’ has the meaning ascribed to it in the definitions section of the Municipal Government Act.
- (d) Words used in the plural include the singular, and words in the singular include the plural; and
- (e) Words in the present tense include the future tense.

2.2 Definitions

For the purposes of this By-law, words shall have the meaning or meanings assigned to them in Appendix J – Definitions. Where a word is not defined in Appendix J, it shall have the meaning ascribed



to it in definitions in the Act or Regulations. Where a word is not defined in Appendix J or in the Act or Regulations, the word shall have its ordinary meaning.

2.3 Measurements

The metric system of measurement is used throughout this By-law. Imperial measurements are approximate only, for convenience only, and in all cases of conflict between imperial measure and metric measure, the metric measure shall prevail.

Section 3 Defining Old Town Lunenburg Heritage Conservation District

This By-law shall apply within the Old Town Lunenburg Heritage Conservation District as indicated on Map 1 Old Town Lunenburg Heritage Conservation District Boundary in Appendix B.


Section 4 Administration

4.1 Heritage Officer

- (a) This By-law shall be administered by the Heritage Officer appointed by Council, who shall issue Certificates of Appropriateness in compliance with this By-law, particularly the appended Conservation and Design Guidelines (Appendix A). The Heritage Officer may be assisted by a Deputy Heritage Officer appointed by Council.
- (b) The Heritage Officer is authorized to enter, at all reasonable times, into or upon any property within the Old Town Lunenburg Heritage Conservation District for any inspections necessary to administer this By-law.
- (c) The Heritage Officer may request advice from the Heritage Advisory Committee, or other outside experts, before issuing a Certificate of Appropriateness.
- (d) The Heritage Officer, or delegate, may revoke a Certificate of Appropriateness where information provided on the application is inaccurate, or the permit was issued in error.

4.2 Heritage Advisory Committee

- (a) Council establishes a Heritage Advisory Committee under Section 12 of the Nova Scotia *Heritage Property Act* and pursuant to the Town's *Heritage Property By-law*.
- (b) The Heritage Officer shall seek advice from the Heritage Advisory Committee on the following:
 - i. All proposals to demolish or remove a character-defining or locally significant structure within the district as listed in Appendix E and shown in Map 3 Character-Defining, Locally Significant and Supporting Properties in Appendix D;
 - ii. The preparation, amendment, revision or repeal of the By-law and the Old Town Lunenburg Heritage Conservation District Plan, including, but not limited to, the inclusion or removal of properties from the list of character-defining and locally



significant structures (Appendix E) or changes to the boundaries of the Heritage Character Areas (Appendix B); and

- (c) The Heritage Officer may seek advice from the Heritage Advisory Committee or an independent technical advisor on any application for a Certificate of Appropriateness they receive at their discretion, including, but not limited to:
- i. Applications to substantially alter a character-defining or locally significant structure;
 - ii. Proposals for new public, civic, institutional, or commercial and residential buildings;
 - iii. Proposals where heritage values or the treatment of character-defining elements appear to be in conflict or that affect the attainment of the intent and purpose of this By-Law and the Old Town Lunenburg Heritage Conservation District Plan; and
 - iv. Any other matters conducive to the effective carrying out of the intent and purpose of this By-Law and the Old Town Lunenburg Heritage Conservation District Plan.

Section 5 Responsibility of Owner

An Owner of property situated within the Old Town Lunenburg Heritage Conservation District is strictly responsible for ensuring compliance with this By-law by contractors, tenants and all other persons dealing with the property, and in the event of non-compliance, without restricting the right of the Town to prosecute others, the Owner is strictly subject to the remedies provided for in Section 25 of the Act.

Section 6 Conservation and Design Guidelines

The issuance of a Certificate of Appropriateness shall be conditional upon compliance with this By-law and its corresponding Conservation and Design Guidelines (Appendix A).

Section 7 Certificates of Appropriateness Issued by Heritage Officer

Section 7.1 Certificates Issued Directly by Heritage Officer

- (a) Where no public hearing is required, within thirty (30) days of receiving a complete application, the Heritage Officer, or delegate, shall grant the Certificate of Appropriateness if it complies with this By-law, in particular its corresponding Conservation and Design Guidelines (Appendix A). Alternatively, the Heritage Officer shall inform the applicant in writing of the reasons for not granting the Certificate of Appropriateness or seek advice from an independent technical advisor and/or the Heritage Advisory Committee.
- (b) The Heritage Officer may grant a Certificate of Appropriateness unconditionally or with conditions per the Nova Scotia *Heritage Property Act* and Heritage Conservation Districts Regulations.



Section 7.2 Advice of Heritage Advisory Committee or Independent Technical Advisor

- (a) The Heritage Officer may seek the advice of the Heritage Advisor or the Heritage Advisory Committee at their discretion.
- (b) Where advice of the Heritage Advisory Committee and/or an independent technical advisory is sought, the Heritage Officer will inform the applicant in writing of the decision to seek the advice of the Heritage Advisory Committee and/or independent technical advisor. Within thirty (30) days of receiving the advice of the Heritage Advisory Committee and/or independent technical advisor, the Heritage Officer, or delegate, shall grant the Certificate of Appropriateness if, in the opinion of the Heritage Officer after considering the advice they have received, it complies with the By-law, in particular its corresponding Conservation and Design Guidelines (Appendix A). Alternatively, the Heritage Officer shall inform the applicant in writing of the reasons for not granting the Certificate of Appropriateness.


Section 7.3 Conditions on Certificate by Heritage Officer

- (a) The Heritage Officer may grant a Certificate of Appropriateness unconditionally or with conditions per the Nova Scotia *Heritage Property Act* and Heritage Conservation Districts Regulations. This includes, but is not restricted to:
 - i. Documentation requirements;
 - ii. The salvaging of specific architectural features, for example, mouldings, brackets, doors, and windows;
 - iii. Provisions to protect nearby character-defining and locally significant structures from accidental damage; and
 - iv. When approving an application to demolish or remove a character-defining, locally significant or supporting structure:
 - a. The timeframe for constructing a replacement structure;
 - b. The timeframe for removing rubble and wasted materials;
 - c. Landscaping requirements; and
 - d. Requirements around screening unsightly aspects of the property.

Section 7.4 Types of Developments for which a Certificate of Appropriateness Shall Be Required

Before any work commences within the Old Town Lunenburg Heritage Conservation District, a Certificate of Appropriateness shall be required for any development not exempted under Section 6.5, including, but not limited to:

- (a) Demolition or removal of a structure listed as character-defining and locally significant structures (Appendix E);
- (b) Exterior alterations to structures listed as character-defining and locally significant structures (Appendix E), including but not limited to modifications to any existing doors, doorways, windows or window openings, or the creation of new doorways, doors, windows, or window openings.
- (c) Construction of new or exterior alterations to existing buildings and structures, including utility structures and outbuildings, including, but not limited to cladding, foundation, trim, chimneys,



porches, roofs, verandas, doors, doorways, windows, window openings, and exterior steps or stairs changes;

- (d) Additions to any existing structures, including but not limited to new balconies, decks, dormers, eaves, exterior stairs, fuel tanks, heat pumps, porches, satellite dishes, micro wind turbines, signs, solar panels, verandas, wings and permanent mechanical or electrical equipment;
- (e) Construction of new or alterations to existing fences; and
- (f) Construction of new or alterations to existing retaining walls.

Section 7.5 Types of Developments for which a Certificate of Appropriateness Shall Not Be Required

A Certificate of Appropriateness shall not be required for the following types of development:

- a) Maintenance and repair of existing buildings, signs, fences, stairs, porches, verandas, and utility structures, provided that such are not altered and remain the same as before, including, but not limited to, in materiality, colour, size, placement and architectural detail;
- b) Renovation of the interior of a building;
- c) Exterior paint, including changing the exterior colour of existing structures;
- d) Recladding in-kind, using identical materials to the exact same specifications, including, but not limited to, size and placement;
- e) Replacement of trim in-kind, using identical materials to the exact same specifications, including, but not limited to, size and placement;
- f) Replacement of porches and verandas in-kind, using identical materials to the exact same specifications, including, but not limited to, size and placement;
- g) Re-roofing using identical materials to the exact same specifications, including, but not limited to, colour, size and placement;
- h) Pet houses and children's play structures;
- i) Temporary signs or structures erected for a period not exceeding thirty-one (31) days;
- j) Canvas and plastic tarp buildings on lots directly abutting Lunenburg's Harbour located in the Waterfront Area, subject to the requirements of the Land Use By-law, for the enclosure of ships, vessels and other marine-related equipment and accessory components;
- k) Repaving of existing paved surfaces; and
- l) Repair to soft landscaping.

Section 8 Certificates of Appropriateness and Public Hearings


Section 8.1 Developments Requiring a Public Hearing

The following development shall require a public hearing:

- a) Applications to demolish or remove a character-defining or locally significant structure (Appendix E)

Section 8.2 Council Consideration on Certificate of Appropriateness

Where Council considers an application for a Certificate of Appropriateness pursuant to Section 8.1, Council shall not approve the application unless:

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- (a) There is irreversible structural damage to the character-defining or locally significance structure (Appendix E); or
 - (b) The Conservation and Design Guidelines of this By-law are met; and
 - (c) The applicable policies of the Heritage Conservation District Plan are met.

Section 8.3 Condition on Certificate by Council after Public Hearing

Where there is a public hearing, afterwards Council may grant a Certificate of Appropriateness unconditionally or with conditions per the Nova Scotia *Heritage Property Act* and this Plan and By-law.

Section 9 Content of Applications for Certificates of Appropriateness

Section 9.1 Content of Application

Every application for a Certificate of Appropriateness shall be accompanied by information which the Heritage Officer deems necessary to determine whether the proposed development conforms with the requirements of this By-law, which may include the following:

- b) A written request, signed by the applicant or their agent, with an address and telephone number at which the applicant or agent may be contacted.
- c) Architectural plans, elevation drawings or sketches, as appropriate, not necessarily prepared by an architect but drawn to scale and sufficient to clearly and accurately illustrate the architectural character and dimensions of the proposed development;
- d) A plot plan or sketch, as appropriate, not necessarily prepared by a surveyor or engineer, but drawn to an appropriate scale and sufficient to illustrate:
 - i. The true shape and dimensions of the lot on which the proposed development is to be undertaken;
 - ii. The location of the existing or proposed building or other development in respect of which the Certificate of Appropriateness is applied, with measurements of the lot frontage and the front, rear and side yards;
 - iii. The location of other existing buildings on the lot (if any); and
 - iv. The location of significant landscape features, including driveways, pathways, steps, walls, fences, and vegetation; and
- e) Technical and illustrative information on the materials to be used.
- f) Historical information on the property or structures, including but not limited to archival photographs.
- g) Engineering reports.

Section 9.2 Notice to Applicant regarding the completeness of Application

Within fifteen (15) days of receiving an application for a Certificate of Appropriateness, the Heritage Officer shall inform the applicant in writing whether the application is complete or whether additional information is required.



Section 9.3 Additional Information

Where the information submitted with an application is insufficient for the Heritage Officer to determine whether the application conforms with this By-law, the Heritage Officer may require additional information, including but not limited to sample materials, architectural plans or elevation drawings prepared by a registered architect, a site plan prepared by a licensed land surveyor or structural report prepared by a licensed engineer.

Section 10 Expiration of Certificates of Appropriateness

Any Certificate of Appropriateness issued under this By-law shall be in force for two years from the date of issuance. If the development to which the Certificate of Appropriateness applies has yet to commence within two years from the date of issuance, the Certificate of Appropriateness shall expire.

Section 11 Right to Appeal

The approval, imposition of conditions on, or denial of a Certificate of Appropriateness may be appealed to the Nova Scotia Utility and Review Board, subject to the provisions of the *Heritage Property Act* and any regulations thereto.

Section 12 Penalties

In the event of any contravention of the provisions of this By-law, the Town of Lunenburg may act under Section 25 of the *Heritage Property Act*.

Section 13 Compliance with Other Legislation

Nothing in this By-law shall exempt any person from complying with the requirements of any other By-law in force within the Town or from obtaining any license, permission, permit, authority, or approval required by any other By-law of the Town or statute or regulation of the Province of Nova Scotia or the Government of Canada.

Section 14 Force Majeure

The Town of Lunenburg is beholden to timelines outlined in this By-law, except in exceptional circumstances.

Section 15 Effective Date

Upon adoption by the Council of the Town of Lunenburg and approval by the Minister responsible for the *Heritage Property Act*, this By-law shall take effect on the date a notice is published in a newspaper circulating in the Town informing the public that the Old Town Lunenburg Heritage Conservation District By-law is in effect.



Section 16 Repeal of Existing By-law

The Town of Lunenburg *Heritage Conservation District By-Law and Plan* adopted by the Council for the Town of Lunenburg on May 11, 2000 is hereby repealed.



Appendix A: Conservation and Design Guidelines

Introduction

These Conservation and Design Guidelines manage change in Old Town Lunenburg Heritage Conservation District. They guide preserving character-defining and locally significant structures and sensitive new development towards conserving the district’s heritage value.

Design guidelines apply to new developments and supporting structures within the district. These guidelines promote high-quality craftsmanship and public benefit. The design guidelines ensure new development supports Lunenburg’s marine culture, continues the district’s functioning per its colonial plan and sustains Lunenburg’s vernacular architecture tradition. They also provide that new development will not erode the district’s heritage value by overwhelming or detracting from character-defining or locally significant structures. New construction should be compatible with, subordinate to and distinguishable from character-defining or locally significant structures.

Conservation guidelines direct the preservation of the district’s character-defining and locally significant structures, stressing a minimal intervention approach following the *Standards and Guidelines for the Conservation of Historic Places in Canada*. Testifying to Lunenburg’s colonial plan, marine culture, and vernacular architecture tradition, character-defining structures are essential to the district’s heritage value. Direction is provided for all interventions requiring a Certificate of Appropriateness, maintenance, and in-kind replacement.

Making the district accessible is a Council priority. Council strongly encourages working with accessibility and conservation specialists and users to determine the most appropriate solution to accessibility issues with the most negligible impact on the district’s character-defining elements, including individual character-defining and locally significant structures. Policies on equity and inclusion, sustainability, community capacity-building, research, documentation, incentives, and threat mitigation can be found in the Old Town Lunenburg Heritage Conservation District Plan.

Types of Structures in Old Town Lunenburg Heritage Conservation District			
Character-Defining and Locally Significant Structures		Supporting Structures	
Civic Character-Defining Structures Section 5	Structures originally built for civic use. Shall be conserved.	New Construction	Shall be compatible with, subordinate to and distinguishable from character-defining and locally significant structures. Regulated under Section 2.
Commercial Character-Defining Structures Section 5	Vernacular structures originally built for commercial use. Shall be conserved.	Supporting Structures	Shall be compatible with, subordinate to and distinguishable from character-defining and locally significant structures. Minimally regulated compared to character-defining and locally significant structures. Regulated under Section 3.
Marine-Industrial Character-Defining Structures Section 5	Vernacular marine and other industrial structures. Shall be conserved.		
Residential Character-Defining Structures Section 5	Vernacular, historic homes or structures following a residential form. Shall be conserved.		
Locally Significant Structures Section 5	Historic structures in Old Town Lunenburg Heritage Conservation District that do not relate to its values as defined in the Statement of Significance but are nonetheless municipally historically significant. Shall be conserved.		

How To Use This Document

Users should read all relevant Sections of the Conservation and Design Guidelines early in planning any project in Old Town Lunenburg Heritage Conservation District. Overarching guidelines at the beginning of Sections provide overarching guidance for all relevant subsections.

For new constructions, read the Design Guidelines, the Section related to the Heritage Character Area where the project will take place (see Appendix C), and the Section dedicated to the type of structure planned. Old Town Lunenburg Heritage Conservation District includes five Heritage Character Areas: The Civic Area, the Commercial Area, the Residential Area, the Waterfront Area, and the Transition Area. Guidelines address new civic, commercial, residential, and marine-industrial construction. Fencing, retaining walls, outbuildings/accessory buildings, signs, mechanical equipment, electrical equipment, solar panels, or other alternative energy generation mechanisms are addressed under Section 6 - Other Structures and Interventions. Any structure that does not fall within these typologies should use the new building guidelines directly following the relevant Heritage Character Area guidelines (i.e., Civic Area – civic building; Commercial Area – commercial building, etc.).

Each structure in the district is either character-defining, supporting or locally significant. Character-defining structures testify to the district’s heritage value. Supporting structures enhance the district but are not themselves historic structures. Locally significant structures are conserved because they have local heritage significance despite not aligning with the district’s heritage value as outlined in its Statement of Significance (Appendix I). Structures are mapped by type in Map 3 Character-Defining, Locally Significant and Supporting Properties (Appendix D) and listed in Appendix E. Unless otherwise specified, the structure type listed for each address applies to the main building at each address. Outbuildings (accessory buildings) are Supporting Structures. Any structure built within Old Town Lunenburg after the enactment of this By-law is a Supporting Structure.

Different guidelines apply depending on whether you are maintaining, adding onto, or altering a character-defining or locally significant structure. Guidance is also provided on removing or demolishing character-defining and locally significant structures. Character-defining structures are divided into five building types: civic, commercial, ecclesiastic, marine-industrial, and residential. Read Section 5, Character-Defining and Locally Significant Structures,



Figure 1: New Construction Flow Chart

and the relevant building type guidelines for interventions on character-defining and locally significant structures. For maintenance, additions, and alterations to supporting structures, read Section 3. For maintenance, additions and alterations to character-defining and locally significant structures, read Section 5. Roads are addressed in Section 4.



Figure 2: Interventions of Existing Buildings Flow Chart




Design Guidelines

1 Heritage Character Areas

Old Town Lunenburg comprises five Heritage Character Areas: The Civic Area, the Commercial Area, the Residential Area, the Waterfront Area, and the Transition Area. Character Area guidelines support each of the district's character-defining element types: elements that evidence British colonial planning, elements that evidence and support Lunenburg's continuing vernacular architecture tradition, and elements that evidence Lunenburg's historical and continued cultural and economic relationship with the Atlantic, especially the offshore fisheries. A Transition Area with lighter architectural controls encircles the other areas, providing extra protection from potentially detractive development.

1.1 Overarching Heritage Character Area Guidelines

1. The following guidelines apply to new developments and alterations to existing buildings in all the Heritage Character Areas:
 - a) The density, scale and distribution of buildings, typologies, and functions within each area shall be maintained.
 - b) The visual and physical connections and distinguishing features of each Heritage Character Area shall be maintained.
 - c) New developments and alterations to existing buildings shall not detract from the district's heritage value and character-defining elements, including individual character-defining structures. New construction or any element thereof shall not sharply contrast with surrounding character-defining structures.
 - d) New developments and alterations to existing buildings shall be physically, visually, and stylistically compatible with, subordinate to and distinguishable from the district's character-defining structures.
2. Proposals for new structures that are incompatible, dominating, and indistinguishable from the district's character-defining structures and the heritage value of the district are not permitted.
3. Compatibility does not mean that new buildings shall replicate historic architectural styles. Creative adaptations and interpretations of the district's historical styles are permitted, provided they incorporate elements of the form and detail of surrounding character-defining buildings.
4. New buildings in the district shall be compatible with Lunenburg's character-defining structures of the same type, whether civic, commercial, ecclesiastic, residential, or marine-industrial. The following factors may be considered when judging the compatibility of a proposed project:
 - a) Architectural form and scale: Including, but not limited to, overall size, bulk, proportion or massing; roof type, shape and pitch; building orientation, including setbacks and separation to buildings next-door, on the same block, or in the same Heritage Character Area;
 - b) Principal façade design: Including, but not limited to, the overall composition, directional emphasis, balance and presence of critical elements like a primary entrance or exterior stairs;
 - c) Windows and doors: Including, but not limited to, their proportion, size, placement and style;

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- d) Architectural trim and ornamentation: Including, but not limited to, the proportion, size, placement and style of dormers, trim, porches, and verandahs; and
 - e) Materials allowed and not allowed for any exterior element of the structure.

Read the Section related to the Heritage Character Area where the project will take place (see appendix C). For new construction, consult the Section 2 and the Subsection on the type of new structure being planned (Civic Section 2.1, Commercial Section 2.2, Residential Section 2.3, Marine-industrial Section 2.4, new construction in the Transition Area Section 2.5). If your project includes fencing, retaining walls, outbuildings, signs, mechanical or electrical equipment, or solar panels or other alternative energy generation mechanisms, read the specialized guidance under Section 6. For guidance on maintenance, additions and alterations to character-defining and locally significant structures, see Section 5. For guidance on maintenance, additions, and alterations to supporting structures, see Section 3.

1.2 Civic Area

The Civic Area is essential to Old Town Lunenburg's value as the best-preserved colonial settlement in North America. This area is vital to Old Town Lunenburg's continued social and economic functioning according to Charles Morris's original plan, for which the district is recognized nationally and internationally.

1. The four Civic Area blocks are valuable for their architecture, open spaces, and functions. The following character-defining elements shall be preserved:
 - a) All character-defining and locally significant structures;
 - b) The intactness of the four blocks compared to the other blocks in the district;
 - c) The lower building density compared to the higher building density in the surrounding Residential and Commercial Areas;
 - d) The scale of public and civic buildings, approximately three and a half storeys;
 - e) The Civic Area's public functions include:
 - i. The provision of public services;
 - ii. The free, public access to character-defining and supporting civic and ecclesiastic buildings; and
 - iii. The free, public access to landscaped green space between and around character-defining and supporting civic and ecclesiastic buildings.

1.3 Commercial Area

Guidance on new commercial construction has been prepared to ensure compatible development and promote the continuation of Lunenburg's vernacular architecture tradition. There is no one-size fits all solution to new commercial development within the district. Designs shall consider their unique setting, particularly surrounding character-defining structures. Special consideration should be given to commercial character-defining structures next-door and on the same block.

1. The following character-defining elements shall be preserved:
 - a) All character-defining and locally significant structures;
 - b) The distribution or space between structures within the Area; and
 - c) The coherence of commercial streetscapes.



1.4 Residential Area

Guidance on new residential construction has been prepared to ensure compatible development and promote the continuation of Lunenburg's vernacular architecture tradition. This includes supporting eclecticism over homogeneity and compatibility over distinguishability within the Residential Area. There is no one-size fits all solution to new residential development within the district. Designs shall consider their unique setting, particularly surrounding residential character-defining structures next-door and on the same block.

1. The following character-defining elements shall be preserved:
 - a) All character-defining structures;
 - b) The distribution or space between structures within the Area; and
 - c) The variety of vernacular architectural expression.

1.5 Waterfront Area

One of the reasons Old Town Lunenburg is designated a National Historic Site and listed as a World Heritage Site is it is an exceptional example of a culture based on-marine activities. Maintaining this culture is essential, and nowhere is this more paramount than in the Waterfront Area. Development in this area shall balance preserving the historical evidence of Lunenburg's long cultural ties to the sea, particularly marine-industrial character-defining structures, and allowing the working waterfront to thrive.

1. The following character-defining elements shall be preserved:
 - a) The continued waterfront's marine functions, especially the fisheries, including shipbuilding and retrofitting;
 - b) All character-defining structures; and
 - c) Tangible and intangible manifestations of Lunenburg's sea-based culture, such as the Fishermen's Memorial and Ceremony.
2. Council supports the functional nature of the working waterfront as it relates to marine, shipbuilding, and fishery activities, including the following:
 - a) Repairing, rejuvenating, or replacing in-kind extensively deteriorated or missing features that support traditional practices;
 - b) Designing new features for continuing or new uses that support the working waterfront and do not obscure, damage, or destroy character-defining structures or other elements necessary to traditional practices; and
 - c) Documenting all interventions that affect features that support traditional practices and ensuring that this documentation is available to the Heritage Officer.

1.6 Transition Area

The Transition Area is a residential and mixed-use area targeted for gentle mixed-use development. There are also several historic vernacular buildings within the Transition Area identified as character-defining buildings. This area is designated to protect the district from incompatible development and the character-defining buildings surrounding the district and along entrance corridors.

1. The following character-defining elements shall be maintained:
 - a) All character-defining structures.

2 New Development

2.1 New Civic Construction

New buildings should be attentively documented, both in their design and construction. Everyone involved in constructing new civic structures is strongly encouraged to document all aspects of projects within the district and provide information to the Heritage Officer to inform future research and conservation efforts.

While the Heritage Officer may seek advice from an independent technical advisor or the Heritage Advisory Committee per the *Old Town Lunenburg Heritage Conservation District Plan and By-law*, the Heritage Officer is directed to pay extra consideration to new public buildings and encouraged to refer them to the Heritage Advisory Committee.

2.1.1 Form and Function of New Civic Structures

- a) New civic buildings shall be physically, visually, and stylistically compatible with, subordinate to and distinguishable from the district's character-defining structures upon close inspection. Here, distinguishable upon close inspection means recognizable by a trained professional, such as an architect or architectural historian, as distinct from surrounding character-defining structures from the nearest street intersection.
- b) New civic buildings shall not unduly block views from the public realm of other civic and ecclesiastic buildings. New civic buildings should be no more than four storeys tall, or their height, scale and massing should be less than Lunenburg Town Hall (119 Cumberland Street).
- c) New civic buildings shall align with the district's gridiron plan, i.e. new civic buildings shall be oriented to the district's historic street grid at a right angle.
- d) New civic buildings shall have the same setback and distance to neighbouring structures as other buildings within the Civic Area as closely as feasibly possible.
- e) New civic buildings shall be designed to the accessibility provisions of the Building Code. Working with accessibility and conservation specialists and users to determine the most appropriate solution to accessibility issues with the most negligible impact on the character-defining elements of the district is strongly encouraged.
- f) Flat roofs are prohibited on new civic buildings.
- g) Except for steps associated with a front or secondary entrance, porch or veranda, exterior staircases shall be located on the side or rear of new civic buildings.
- h) New civic buildings should be built to a more than human scale with, for example, high ceilings, oversized windows or prominent entrances, grandeur, and a level of craftsmanship suitable to a public edifice.
- i) New civic buildings shall reinforce the vertical rhythm of the Civic Area. New civic buildings should have a vertical emphasis through elements such as steeply pitched roofs, vertically proportioned windows, vertical trim boards, projecting bays and/or pedimented porches and/or dormers. Dormers shall not exceed one-third (1/3) of the width of any roof slope.
- j) Blank wall façades are prohibited in new civic buildings.

2.1.2 Principal Façade Design of New Civic Structures

- a) The principal façade of new civic buildings shall face the principal street at a right angle.
- b) Principal façades should have bilateral symmetry or balanced asymmetry.

2.1.3 Windows and Doors of New Civic Structures

- a) Modern window styles which depart significantly from the windows of civic character-defining structures are discouraged. Modern interpretations of historic windows are acceptable.
- b) Modern door styles which depart significantly from the doors of civic character-supporting structures are discouraged. Modern interpretations of historic doors are acceptable.

2.1.4 Materials of New Civic Structures

- a) New civic buildings shall be clad in wood, brick, or natural stone.
- b) Architectural detailing on new civic buildings shall be wood, brick, or natural stone.
- c) Shingles, especially traditional wooden shingles, are favoured for roofs. However, any material, except corrugated metal, is permissible, so long as it does not detract from any character-defining structure. Corrugated metal is prohibited.
- d) Wood is preferred, but non-wooden doors and windows are permitted.
- e) Principal and secondary staircases and ramps shall be wood, brick or natural stone. Plastic staircases and ramps are prohibited. Metal fire escape staircases are permitted but cannot be located on the principal façade.
- f) Handrails and balustrades shall be wooden or wrought iron.


If your project includes fencing, outbuildings, retaining walls, signs, mechanical or electrical equipment, or solar panels, or other alternative energy generation mechanisms, read the specialized guidance under Section 6.

2.2 New Commercial Construction

New buildings should be assiduously documented, both in their design and construction. Everyone involved in commercial development is strongly encouraged to document projects within the district and provide information to the Heritage Officer to inform future research and conservation efforts.

2.2.1 Form

- a) New commercial buildings shall be physically, visually, and stylistically compatible with, subordinate to and distinguishable from the district's character-defining structures on the same block upon close inspection. Here, distinguishable upon close inspection means recognizable by a trained professional, such as an architect or architectural historian, as distinct from surrounding character-defining structures from across the street or the nearest street intersection.
- b) The height, scale, massing, and articulation of new commercial buildings shall complement character-defining structures next-door where applicable. Usually, this will be a two to three-storey building with retail storefronts on the ground floor.
- c) The principal façade of new commercial buildings shall face the street. New commercial buildings on corners shall face the east-west running street, except for those on King Street, which may face King Street or have two principal façades.
- d) The location of new commercial buildings shall follow the existing separation pattern (aka built area relative to void areas) along the street line on the same block. This provision means buildings will typically be contiguous or near contiguous to one another. Where commercial and residential character-defining structures intermix, a greater distance may be kept between buildings per established patterns along the street line on the same block.


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- e) The footprint of new commercial buildings shall align with any commercial character-defining buildings next-door, where applicable, and the prevailing setbacks of the character-defining structures on the same block. This provision means new commercial buildings shall have little to no setbacks.
 - f) New commercial buildings shall have a roof form inspired by Old Town Lunenburg's character-defining commercial buildings, including but not limited to gable roofs, gambrel roofs, hatch roofs and flat roofs with a parapet. Flat roofs are permitted on new commercial buildings.
 - g) New commercial buildings should have a vertical emphasis commensurate with commercial character-defining structures. They shall be at least two storeys. Single-storey, shallow-pitched, or flat-roofed new commercial buildings are prohibited.
 - h) Except for steps associated with a front entrance, exterior staircases shall be located on the side or rear of a new development.
 - i) Rooftop decks are prohibited on a new commercial building's principal roof.
 - j) Foundations shall not have large areas of exposed concrete or stone. The height of any exposed foundation may not be greater than 0.305 metres (1 foot) from grade. On sloping sites, cladding and trim shall be stepped, and no exposed foundation may be taller than 0.305 metres (1 foot) from grade.

2.2.2 Principal Façade Design

- a) New commercial buildings shall have a primary ground-level entrance in the principal façade.
- b) The articulation of new commercial buildings shall align with a commercial character-defining structure next-door, where applicable, including, but not limited to, roofs, eaves, windows, doors, mouldings, signboards, stringcourses, and cornices.
- c) Principal façades should be balanced through either bilateral symmetry or asymmetrical balancing. The former may be achieved by aligning similar individual elements, such as windows, doors, and trim.
- d) Principal façades should be vertically articulated into 5.5 to 7.6 metre (18 to 25 feet) units or bays by, for example, vertical trim or pilasters, following the rhythm of the streetscape as defined by the commercial character-defining structures on the same block as the new commercial building.
- e) The principal façade shall include a strong baseline under the windows of storefronts the same height as commercial character-defining structures on the same block, ideally defined by mouldings or panels.

2.2.3 Windows and Doors

- a) Storefronts display picture windows and doors are strictly limited to the ground floor of new commercial buildings.
- b) Apart from the ground floor, the area of any façade visible from the public realm occupied by window and door openings shall be no greater than 25%.
- c) Ground floors may have square or vertically oriented display windows with a window-to-wall ratio of up to 75%.
- d) Windows visible from the public realm should be vertically oriented single- or double-hung, vertically sliding sash windows. However, round-headed, pointed, diamond-shaped, or circular windows, modelled on historic examples found in commercial character-defining structures, shall be permitted.
- e) Slider windows and curved bow windows are prohibited. Picture windows are only permitted on the ground floor storefront level. On the upper levels, picture windows are prohibited.

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- f) Doors visible from the public realm should preferably be made of wood with glazing inspired by historic doors in commercial character-designing structures. However, modern door styles made of modern materials are permitted.
 - g) Transom lights above doors are encouraged.
 - h) Four skylights are permitted. More than four skylights may be approved, provided the total number of skylights on a roof slope does not exceed the total number of bays on the corresponding elevation.

2.2.4 Architectural Trim and Ornamentation

- a) New commercial buildings shall include at least four of the following:
 - i. Corner boards a minimum of 14 centimetres (5.5 inches) wide.
 - ii. Door trim a minimum of 9 centimetres (3.5 inches) wide, preferably including a well-articulated cap.
 - iii. Strong cornices and/or signboards over ground-floor storefronts.
 - iv. Strong building cornices, especially on flat-roofed buildings.
 - v. Window trim a minimum of 9 centimetres (3.5 inches) wide, preferably a cap, head, jamb, and sill inspired by commercial character-defining structures on the same block as the new commercial building.
 - vi. Decorative details inspired by friezes, dentils, scrolls, brackets, or any other decorative work found on commercial character-defining structures on the same block as the new commercial building.
 - vii. Stair carriages shall be constructed with closed risers and treads with traditional handrails where the balusters are nailed from the top and bottom. Face nailing of balusters shall be prohibited.

2.2.5 Materials

- a) New commercial buildings shall be clad with wooden clapboard or shingles.
- b) Shingles, especially traditional wooden shingles, are favoured for roofs. However, any material is permissible, including metal roofs, if it does not detract from character-defining structures on the same block as the new commercial building. Dark colours are preferred. Bare metal is prohibited. Metal roof slopes within an edge within 1.5 metres (5 feet) of a public right-of-way shall have snow guards. Corrugated metal roofs are prohibited.
- c) Wood is preferred, but non-wooden doors and windows are permitted.
- d) Required decorative details inspired by the district's commercial character-defining structures (see Section 2.2.4) shall be wooden.
- e) Porches, verandahs, and balustrades shall be wooden.
- f) Handrails shall be wooden or wrought iron.
- g) Wood is preferred, but non-wooden stairs and ramps, such as metal, brick or natural stone, are permitted. On principal façades, non-wooden stairs, and non-wooden ramps are prohibited. Plastic stairs and ramps are prohibited.

If your project includes fencing, outbuildings, retaining walls, signs, mechanical or electrical equipment, or solar panels, or other alternative energy generation mechanisms, read the specialized guidance under Section 6.

2.3 New Residential Buildings

New buildings should be assiduously documented, both in their design and construction. Everyone involved in residential development is strongly encouraged to document projects within the district and provide information to the Heritage Officer to inform future research and conservation efforts.

The ten nearest residential character-defining structures in a 360-degree radius should be considered when designing new residential buildings, with special consideration given to those next-door and on the same block as the new residential building.

2.3.1 Form

- a) New residential buildings shall be physically, visually, and stylistically compatible with, subordinate to and distinguishable from the district's character-defining structures on the same block as the new residential building upon close inspection. Here, distinguishable upon close inspection means recognizable by a trained professional, such as an architect or architectural historian, as distinct from surrounding character-defining structures from the nearest street intersection.
- b) The height and scale of new residential buildings shall be less than or equal to the average height and scale of character-defining residential structures along the same side of the street of the same block.
- c) New residential buildings shall align with the district's gridiron plan, i.e. new residential buildings shall be oriented to the district's historic street grid at a right angle.
- d) New residential buildings shall have the same setback and distance to neighbouring structures as residential character-defining structures on the same block as the new residential building.
- e) A new residential building's roof shall have a similar shape and pitch to character-defining residential buildings on the same block as the new residential building. Historic roof forms in Lunenburg include but are not limited to gable roofs, hipped roofs, hipped gable roofs, gambrel roofs, mansard roofs, hatch roofs, and complex Queen Anne forms with and without dormers. Flat roofs are prohibited for new residential buildings.
- f) Dormers, including extended and overhanging dormers like the Lunenburg bump, are strongly encouraged for new residential development. Dormers shall be inspired by historic examples found on residential character-defining structures, including but not limited to Gothic, Scottish, Peaked, Pedimented, Hipped, Round-headed and Shed dormers. Dormers shall not exceed one-third (1/3) of the structure's total roof area.
- g) Elaborate frontispieces inspired by residential character-defining structures are encouraged.
- h) New houses with a footprint larger than 140 metres squared (1500 square feet) should have at least one projecting bay, ell, porch, veranda, dormer, frontispiece, or other variation in form.
- i) Except for steps associated with a principal or secondary entrance, porch or veranda, exterior staircases shall be located on the side or rear of a new residential building.
- j) Foundations shall not have large areas of exposed concrete or stone. The height of any exposed foundation may not be greater than 0.305 metres (1 foot) from grade. On sloping sites, cladding and trim shall be stepped, and no exposed foundation may be taller than 0.305 metres (1 foot) from grade.
- k) Chimneys on new houses should preferably be constructed of brick and should protrude through the roof at or near the ridge, as centre or offset chimneys, in the model of chimneys on character-defining residential structures in Old Town Lunenburg Heritage Conservation District. Metal chimneys are discouraged. If used, they shall be placed unobtrusively and shall be boxed in a wooden structure which replicates the form of a traditional brick chimney.

2.3.2 Principal Façade design

- a) Principal façades should have a vertical emphasis through elements including, but not limited to, steeply pitched roofs, vertically proportioned windows, vertical trim boards, projecting bays, and pedimented porches and dormers.
- b) Principal façades should be balanced through either bilateral symmetry or asymmetrical balancing. The former may be achieved by aligning similar elements, such as windows, doors, and trim.
- c) The main entrance to new residential buildings shall be in the principal façade facing the street.
- d) Frontispieces inspired by residential character-defining structures are encouraged.
- e) Dormers should be balanced with openings along the building's elevation. Generally, dormers should be centred on the roof or vertically aligned with window and door openings, but they may be offset from windows and doors if the façade is balanced overall. Dormers will be appropriately scaled to be approximately the same width as window and door openings. Again, dormers shall not exceed one-third (1/3) of the structure's total roof area.

2.3.3 Windows and Doors

- a) The area of any façade visible from the public realm occupied by window and door openings shall be no greater than 25%, other than sunrooms, where an area of up to 80% on one level may be approved.
- b) Doors visible from the public realm should preferably be made of wood and rail and stile construction with recessed or raised panels or interpretations of panelling and glazing inspired by historic doors in residential character-defining structures.
- c) Modern door styles which depart significantly from the historic doors found in residential character-defining structures are discouraged.
- d) Windows visible from the public realm should be vertically oriented single- or double-hung, vertically sliding sash windows. However, round-headed, pointed, diamond-shaped, circular or any other shaped window modelled on historic examples found in residential character-defining structures are permitted, particularly under the gable ends of roof peaks.
- e) Slider windows, picture windows and curved bow windows are prohibited.
- f) Horizontal or square windows are only permitted in non-principal façades to accommodate internal functions related to, for example, bathrooms and kitchens.
- g) Wide window openings may be achieved by combining windows in a mullioned frame.
- h) Three and five-sided bay windows modelled on windows found in residential character-defining structures are permissible.
- i) Four skylights are permitted. More than four skylights may be approved, provided the total number of skylights on a roof slope does not exceed the total number of bays on the corresponding elevation.

2.3.4 Trim and Ornamentation

- a) New residential construction shall include some decorative elements, elaborate or plain, inspired by decorative elements found on Old Town Lunenburg's residential character-defining structures. New residential buildings shall include at least four of the following:
 - i. Corner boards a minimum of 14 centimetres (5.5 inches) wide;
 - ii. Window trim a minimum of 9 centimetres (3.5 inches) wide, preferably consisting of a cap, head, jamb and sill;
 - iii. Door trim a minimum of 9 centimetres (3.5 inches) wide, preferably including a well-articulated cap;

- iv. Bay window trim, preferably including a prominent cap and head, a well-articulated sill, moulded panels below each window and a baseboard or moulding to define the bottom edge;
 - v. Porches, verandahs and/or balconies, preferably with upper and lower rails and vertical balusters nailed from the top and bottom based on the traditional design. Face nailing of balusters shall be prohibited;
 - vi. Decorative brackets, cornices, and/or eaves; and/or
 - vii. Any other decorative work found on residential character-defining structures.
- b) Stair carriages shall be constructed with closed risers and treads, with traditional handrails where the balusters are nailed from the top and bottom. Face nailing of balusters shall be prohibited.


2.3.5 Materials

- a) New houses shall be clad in wooden clapboard or shingles laid in horizontal courses approximately 11.5 centimetres (4.5 inches) to the weather.
- b) Shingles, especially traditional wooden shingles, are favoured for roofs. However, any material is permissible, including metal roofs, if it does not detract from character-defining structures on the same block as the new commercial building. Dark colours are preferred. Bare metal is prohibited. Metal roof slopes within an edge within 1.5 metres (5 feet) of a public right-of-way shall have snow guards. Corrugated metal roofs are prohibited. Wood is preferred, but non-wooden doors and windows are permitted.
- c) Required decorative details inspired by the district's residential character-defining structures (see Section 2.3.4) shall be wooden.
- d) Porches, verandahs, and balustrades shall be wooden.
- e) Handrails shall be wooden or wrought iron.
- f) Wood is preferred, but non-wooden stairs and ramps, such as natural stone, are permitted. On principal façades, non-wooden stairs shall not exceed one step, and non-wooden ramps are prohibited. Plastic stairs are prohibited.

If your project includes fencing, outbuildings, retaining walls, signs, mechanical or electrical equipment, or solar panels, or other alternative energy generation mechanisms, read the specialized guidance under Section 6.

2.4 New Marine-Industrial Construction

1. New marine-industrial construction should support Lunenburg's ongoing marine culture.
2. New marine-industrial construction should be compatible with, subordinate to and distinguishable from surrounding marine-industrial character-defining structures. New buildings shall be distinguishable but need not be distinguishable upon close inspection, i.e. they may contrast more sharply with surrounding marine-industrial character-defining structures.
3. New construction shall not unduly obscure, damage or destroy character-supporting buildings or other features necessary to ongoing marine-industrial activities.
4. New marine-industrial buildings should be no more than four storeys.
5. Marine-industrial buildings should have a gabled, hatch or shed roof, ideally with the end pointed towards the harbour.
6. All new marine-industrial buildings fronting on Bluenose Drive shall be clad in wooden clapboard or shingles.

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7. Preferably, all new marine-industrial buildings will be clad in wood shingles or clapboard. However, new cladding materials are permitted for new buildings in the Waterfront Area that do not front on Bluenose Drive.

If your project includes fencing, outbuildings, retaining walls, signs, mechanical or electrical equipment, or solar panels or other alternative energy generation mechanisms, read the specialized guidance under Section 6.

2.5 New Buildings in the Transition Area

New buildings in the Transition Area will adhere to the guidelines for new residential and commercial buildings above as applicable (Sections 2), however:

1. New buildings need only be compatible with, subordinate to and distinguishable from character-defining structures within the Transition Area. New buildings need not be distinguishable upon close inspection, i.e. they may contrast more sharply with surrounding marine-industrial character-defining structures.
2. No restrictions are placed on what materials can be used for new buildings in the Transition Area, except they shall be clad with wood shingles or clapboard.

If your project includes fencing, outbuildings, retaining walls, signs, mechanical or electrical equipment, or solar panels or other alternative energy generation mechanisms, read the specialized guidance under Section 6.

3 Supporting Structures

The role of supporting structures is to reinforce the district's heritage value and character. Insensitive alterations and additions to supporting structures may detract from the district. However, since they do not embody the district's heritage value, supporting structures are minimally regulated.

3.1 Maintenance and Replacement In-Kind

Supporting structures as they exist upon enacting this Plan and By-law are grandfathered into planning and development. However, the existence of any non-compatible feature on any supporting structure in the district may not be used as a precedent for future incompatible development. Repairs and replacement of any aspect of supporting structures is allowed with the following exceptions:

1. Over 50% replacement of stairs, balconies, porches, balustrades, handrails, verandas, and dormers shall adhere to relevant new construction provisions (Section 2); and
2. Replacement of extant non-wooden cladding greater or equal to 20% of a structure's exterior wall area, excluding windows and doors and doors, is prohibited. Wood clapboard or shingles shall be used when replacing greater or equal to twenty 20% of a structure's exterior wall covering.

3.2 Additions or Alterations to Supporting Buildings

All alterations or additions to supporting structures shall follow the relevant new construction guidelines in Section 2.

3.3 Demolition or Removal of Supporting Building

Applications to demolish or remove a supporting building will be approved without a public hearing provided all other requirements of this By-law are adhered to. Any replacement structure is subject to the relevant new construction guidelines in Section 2.



Conservation Guidelines

4 Roads and Right-of-ways

Conserving Old Town Lunenburg's gridiron plan is essential to sustaining its heritage value as the best-preserved colonial settlement in North America. As such:

1. Roadways included in Charles Morris's Town plan (Appendix G):
 - a) Shall not be realigned, reoriented, regraded, widened, narrowed, or otherwise altered;
 - b) Shall not be obstructed or obscured except for minor accessibility issues to any entranceway as approved pursuant to the Town's Street Encroachment By-law; and
 - c) Shall be maintained and continue to provide circulation throughout the district.
2. Clear sightlines down east-west streets will be preserved or restored.
3. Clear sightlines down north-south streets that visually connect the Commercial, Residential and Civic Areas to Lunenburg Harbour will be preserved or restored.
4. Temporary structures and signs towards completing essential public works projects and street furniture and other civic amenities erected by the municipality are exempt.

Other encroachments are regulated under the Town's Land Use By-law and Street Encroachment By-law.

5 Character-Defining and Locally Significant Structures

Any work on character-defining or locally significant structures should be assiduously documented. Everyone involved in projects concerning character-defining and locally significant structures is strongly encouraged to document them and provide information to the Heritage Officer to inform future research and conservation efforts.


5.1 Maintenance and Repair of Character-Defining and Locally Significant Structures

No Certificate of Appropriateness is required to maintain or repair a character-defining structure. However, please refer to Appendix H for guidelines pertaining to best practices for the maintenance and repair of Heritage Buildings.

5.2 Replacement In-Kind of Elements of Character-Defining and Locally Significant Structures

Repairing wood structures includes replacing in-kind decayed and damaged elements and correcting the conditions that caused the decay or damage. All features of character-defining structures shall be repaired rather than replaced in-kind wherever possible. Only components that have deteriorated beyond repair may be replaced and shall be replaced in-kind using the existing feature as physical evidence of its placement, form, material, and detailing. Replacements in-kind shall be identical in every respect to existing prototypes. Traditional practices should be used whenever possible. Replacement in-kind does not require a Certificate of Appropriateness. However, notice and documentation should be provided to the Heritage Officer to guide future planning and conservation work. The presence of non-compatible or insensitive additions and alterations shall not be cited as a precedent in any approval process.

1. All features of character-defining structures shall be repaired rather than replaced in-kind wherever possible. Only components that have deteriorated beyond repair may be replaced and shall be replaced in-kind using the existing feature as physical evidence of its placement, form, material, and detailing.

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2. Any replacement that is not wholly identical to an existing prototype constitutes an alteration and may not proceed without a Certificate of Appropriateness.
 3. Replacement of non-wooden cladding greater or equal to 20% of a structure's exterior wall area, excluding windows and doors, is prohibited. Wood clapboard or shingles shall be used when replacing greater or equal to 20% of a structure's exterior wall covering.

5.3 Additions to Commercial Character-Defining Structures

Additions are preferable to substantially changing historic fabric. Yet while constructing an exterior addition may seem essential, they should be avoided and considered only after it is determined that new needs cannot be met by altering non-character-defining interior spaces.


5.3.1 Overarching Guidelines

The following guidelines apply to all additions to commercial character-defining buildings:

- a) Additions shall be physically, visually, materially, and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection. Here, distinguishable upon close inspection means recognizable by a trained professional, such as an architect or architectural historian, as distinct from the character-defining building when viewed from arm's length or across the street.
- b) Additions should be designed so that their impact on the form and style of the character-defining building are not negatively impacted if the new work is removed in the future.
- c) Additions shall minimize the loss or obstruction of the character-defining building's significant architectural features, including but not limited to windows, doors, and decorative elements.
- d) Additions should be designed to minimize their visual impact when viewed from the public realm.
- e) Owners are strongly encouraged to work with accessibility and conservation specialists and users to determine the most appropriate solution to accessibility issues with the most negligible impact on the district's character-defining elements, including individual character-defining structures.
- f) Restoration of missing features is allowed, especially in the case of storefront details, including cornices, signboards and baselines. However, new designs of missing elements that are physically, visually, materially, and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection are preferred.

5.3.2 New Wings and Extensions

- a) No new wing, extension or other substantial additions may be taller than the commercial character-defining structure.
- b) New wings, extensions or other additions shall be located to the side or back of commercial character-defining structures. Additions in front of principal façades are prohibited.
- c) Except for new commercial buildings on King Street, the principal façade of new commercial buildings shall face east-west streets.
- d) New wings, extensions, or other additions to a side of a commercial character-defining structure shall align with the structure's principal façade (i.e., additions shall align with the existing front and flanking yard setbacks).
- e) The articulation of additions will align with neighbouring commercial character-defining structures, including, but not limited to, roofs, eaves, windows, doors, mouldings, stringcourses, and cornices.
- f) Additions to the side of commercial character-defining buildings should be articulated into 5.5 to 7.6 metres (18 to 25 feet) units or bays by, for example, trim or pilasters, following the




rhythm of the streetscape as defined by the commercial character-defining structures on the same block as the new commercial building.

- g) Ground floor storefronts are encouraged for additions to the side of commercial character-defining buildings. Storefronts are strictly limited to the ground floor of additions.
- h) Additions to the side of commercial character-defining buildings with a storefront design on the ground floor shall have a strong baseline under the windows the same height as commercial character-defining structures on the same block, ideally defined by mouldings or panels.
- i) Ground floors may have square or vertically oriented display windows with a window-to-wall ratio of up to 75%.
- j) Windows visible from the public realm should be vertically oriented single- or double-hung, vertically sliding sash windows. However, round-headed, pointed, diamond-shaped, or circular windows, modelled on historic examples found in commercial character-defining structures, shall be permitted.
- k) Slider windows, picture windows and curved bow windows are prohibited, except for the picture windows permitted as part of storefront designs.
- l) Doors visible from the public realm should preferably be made of wood with glazing inspired by historic doors in commercial character-defining structures. However, modern doors are permitted.
- m) Transom lights above doors are encouraged.
- n) Four skylights are permitted. More than four skylights may be approved, provided the total number of skylights on a roof slope does not exceed the total number of bays on the corresponding elevation.
- o) Additions to the side of commercial character-defining buildings shall have a vertical articulation that reflects the predominant bay and storefront widths of commercial character-defining structures on the same block.
- p) New wings, extensions or other substantial additions shall use the same facing and decorative materials as the existing structure.
- q) New wings, extensions or other substantial additions shall have a roof shape similar or complementary to the roof shape of the commercial character-defining building.
- r) New windows shall respect the proportions and detailing and be horizontally and vertically aligned with the existing openings of the commercial character-defining structures. Windows on new additions shall continue the pattern, rhythm, proportions, and alignment of windows on the existing building.
- s) Any rearrangement of windows should be done on the parts of buildings least visible from the public realm. The arrangement of windows on the existing principal façade may not be altered.
- t) The form, appearance, proportion, materials, door panel style and details of new doors should match those of existing openings on the commercial character-defining building and respect the hierarchy of entrances.
- u) Additions to commercial character-defining structures shall include trim and decorative detailing commensurate in material and style with the commercial character-defining structure. They should not substantially diverge in alignment or size. Additions to commercial character-defining structures shall incorporate door and window trim that complement or match the historic trim work on the character-defining building.

5.3.3 New Rooftop Elements, including Dormers and Skylights

- a) Additions to roofs, such as access stairs, elevator or mechanical equipment housing, and decks and terraces, are discouraged. Such additions shall not substantially alter the established shape or form of roofs. Rooftop decks on the principal roof shall be prohibited.

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- b) Whenever possible, locate new rooftop elements, such as vents, drainage components, satellite dishes, solar panels, skylights, etc., out of view of the public realm. Again, such additions shall not substantially alter the established shape or form of the roof.
 - c) New dormers are encouraged on existing buildings but shall not substantially alter the established shape or form of the roof. New dormers shall not detract from the roofline or visually overwhelm existing dormers in design, placement, or scale.
 - d) Dormers, including existing dormers, shall not exceed one-third (1/3) of the structure's total roof area. No more than four dormers shall be permitted on any one single roof. Notwithstanding the preceding, more than four dormers may be approved, provided the total number of dormers does not exceed the number of bays on the building's corresponding wall elevation.
 - e) Dormers should be vertically aligned or centred between existing window or door openings in the corresponding façade. Dormers may be offset from window openings if it provides for an overall balanced façade design.
 - f) Where dormers already exist on the roof of a commercial character-defining building, new dormers shall be similar or complementary to the existing dormers in style, proportion, size, trim and window style, profile, and orientation.
 - g) Where no dormers already exist on the roof of a commercial character-defining building, dormers shall be inspired by historic examples found on commercial character-defining structures throughout the district.
 - h) Large, shed dormers should preferably be located at the rear of residential character-defining structures to preserve the architectural integrity of the principal façade.
 - i) Four skylights are permitted. More than four skylights may be approved, provided the total number of skylights on a roof slope does not exceed the total number of bays on the corresponding elevation.
 - j) Skylights shall be placed in a visually balanced arrangement relative to the width of the roof and the arrangement of window and door openings in the façade. Skylights shall be centred on the roof or vertically aligned with window and door openings. Skylights may be offset from window openings if it provides for an overall balanced façade design.
 - k) Skylights shall be parallel with the roof slope and possibly be flush with the roof's pitch but shall not exceed 30.5 centimetres (12 inches) in height from the roof's surface.
 - l) Skylights may be vertically oriented or square in profile. They may be constructed of wood or metal, provided the metal has a dark or medium-tone matte colour finish that is compatible with the colour of the roof.
 - m) Bubble-style skylights and mirrored glass skylights are prohibited.

5.3.4 New Windows and Doors

- a) New windows shall respect the proportions and detailing and be horizontally and vertically aligned with the existing openings of the commercial character-defining structures.
- b) New windows shall match the existing windows' profile (glazing style) and be trimmed similarly.
- c) Windows on additions shall continue the pattern, rhythm, proportions, and alignment of windows on the existing building.
- d) Round-headed, pointed, diamond-shaped, or circular windows modelled on the various traditional examples shall be permitted, provided they are consistent and compatible with the building's architectural style.
- e) Square or horizontally orientated windows may be allowed on non-principal façades to accommodate internal functions such as kitchens and bathrooms.

- f) Square or horizontally oriented windows are allowed as part of existing ground-floor storefront designs.
- g) Slider windows or curved bow windows are prohibited.
- h) The addition of shutters without historical evidence of their prior existence is prohibited.
- i) While removable wooden storm windows are preferred, fixed metal or aluminum storm windows are permitted, provided they have sash divisions that correspond with those of the windows being covered or otherwise have no sash divisions and provided they have a painted matte finish. Exposed bare metal, bright reflective, and shiny metal storm windows shall be prohibited.
- j) New doors should not be visible from the public realm if possible.
- k) New doors may not be added to the existing principal façade. However, new doors may be added to the street-facing elevations of new additions.
- l) New doors shall be traditional solid wooden, fibreglass or metal-panelled doors in conformance with the building's style.
- m) Modern door styles such as flush surface doors (no panels), doors with diagonal moulding patterns, and doors with non-traditional glazing patterns are prohibited.
- n) New doorways shall not compete with principal entrances. Historic hierarchies of entrances on buildings should be maintained where they exist.
- o) Fully glazed patio doors are prohibited on the principal front façade and/or the principal flanking façade.


5.3.5 New Decks, Porches, Verandahs, Balconies, Ramps and Stairs

- a) New decks, porches, verandahs, balconies, ramps, lifts, and stairs by applicable codes, regulations, or accessibility standards shall be done in a manner that does not detract from the character-defining structure. New decks, porches, verandahs, balconies, ramps, and stairs shall be compatible with, subordinate to and distinguishable from the character-defining structure upon close inspection. Here distinguishable upon close inspection means detectable by a trained professional, such as an architect or architectural historian, when across the street or at arm's length.
- b) New decks, porches, verandahs, balconies, ramps, and stairs shall be constructed of wood.
- c) Except in the case where a new design that is physically, visually, materially and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection is replacing a missing historical element of the building (for example, a Victorian verandah that was at one time removed and not replaced), new decks, porches, patios, balconies, stairs and verandahs shall not be added to the principal façade. However, new decks, porches, patios, balconies, stairs, and verandahs may be added to the street-facing elevations of new additions.

5.4 Alterations to Commercial Character-Defining Structures

Every effort shall be made to preserve historic fabric through maintenance, repair, and replacement in kind. Altering historical material on the exterior of character-defining structures should be avoided whenever possible. Alterations shall not be permitted unless they are minimal and reversible.

Where incompatible or insensitive alterations have been made before the enactment of this by-law, they may be reversed. However, the restoration of missing features is discouraged. New designs of missing elements that are physically, visually, materially, and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection are preferred.



Substitute materials should be explored only after all other options for repair and replacement have been ruled out. They should be used only when the original materials or craftsmanship are unavailable, are of poor quality, or damage character-defining materials. Because there are so many unknowns about the long-term performance of substitute materials, their use should not be considered without a thorough investigation of their composition. The importance of finding visually, stylistically, and physically compatible substitute materials cannot be overstated.

The Heritage Officer shall refuse any alteration to the historic fabric of a character-defining structure that would irreversibly compromise the structure's heritage value.

5.4.1 Alterations May Be Approved


The following alterations to character-defining structures may be approved:

- a) Modifications to existing entrances, doors, stairs, porches, balconies, or verandahs to meet accessibility and code regulation requirements. Changes shall minimize impact on character-defining structure and shall be compatible with, subordinate to and distinguishable from the character-defining structure upon close inspection. Here distinguishable upon close inspection means detectable by a trained professional, such as an architect or architectural historian, when across the street or at arm's length from the modification. The Town strongly encourages working with case specialists to determine the most appropriate solutions to health, safety, security, and accessibility requirements with the most negligible impact on character-defining structures.
- b) Present-day materials and technologies should be chosen and used with the greatest caution and only in cases where the durability and structural behaviour of the materials and construction techniques have been satisfactorily proven over a sufficiently long period.
- c) Adding new features to meet sustainability requirements, such as solar panels or a green roof, in a manner that respects the exterior form and minimizes impact on the character-defining structure.
- d) Replacement glazing may be approved when historic glazing is damaged, or windows are being retrofitted to improve sustainability.
- e) Preferably, doors will be replaced in-kind. Replacement doors, including those made of non-historic materials, may be approved if they are physically, visually, and stylistically compatible with the character-defining building. Compatibility includes, but is not limited to, their detailing, profile, and proportion. The door opening shall not be altered. Where a doorway has sidelights, transom windows or double doors, these aspects shall be preserved. Surrounding trim shall also be preserved.
- f) New roof coverings may be approved if the pitch, shape and architectural detailing, including, but not limited to, architectural details like dormers, cornices, brackets, dentils, fascia, and widows' walks remain the same, and the new materials are physically, visually and stylistically compatible with the character-defining building.

5.4.2 Alterations Prohibited

For clarity, the following alterations to commercial character-defining are prohibited:

- a) No attempt should be made to 'correct' deflections that have occurred over time and which have no structural significance, and present no difficulties of use, simply to address present-day aesthetic preferences.
- b) Changes over time should be appreciated and understood as essential aspects of vernacular architecture. Removing, for example, Victorian aspects to restore a building to an earlier



Georgian appearance is prohibited. The layers and evolution of the building over time shall be conserved.

- c) Replacement or covering of traditional cladding materials with non-wooden materials, including but not limited to stucco, vinyl siding, aluminium siding and brick or stone veneer.
- d) Replacement of narrow clapboard or shingles with wide siding or shingles.
- e) Altering the arrangement or design of storefronts, including removing without replacing in-kind storefronts and their corresponding architectural details.
- f) Removing without replacing in-kind dormers, frontispieces, bay windows, and architectural decoration, especially storefront cornices, signboards, and baselines.
- g) Changes to the dimension, detailing and placement of historic entrances. Entries should be maintained as functioning entrances. Historic hierarchies of entries on buildings should be maintained where they exist.
- h) Blocking or removing historic window and door openings.
- i) Changes to the dimension, detailing and placement of historic windows.

5.5 Additions to Residential Character-Defining Structures

Additions are preferable to substantially changing historic fabric. Yet while constructing an exterior addition may seem essential, they should be avoided and considered only after it is determined that new needs cannot be met by altering non-character-defining interior spaces.

5.5.1 Overarching Guidelines

The following guidelines apply to all additions to residential character-defining buildings:

- a) Additions shall be physically, visually, materially, and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection. Here, distinguishable upon close inspection means recognizable by a trained professional, such as an architect or architectural historian, as distinct from the character-defining building when viewed from arm's length or across the street.
- b) Additions should be designed so that their impact on the form and style of the character-defining building are not negatively impacted if the new work is removed in the future.
- c) Additions shall minimize the loss or obscurement of the character-defining building's significant architectural features, including but not limited to windows, doors, and decorative elements.
- d) Additions should be designed to minimize their visual impact when viewed from the public realm.
- e) You are encouraged to work with accessibility and conservation specialists and users to determine the most appropriate solution to accessibility issues with the most negligible impact on the district's character-defining elements, including individual character-defining structures.
- f) Restoration of missing features with exact replicas is discouraged. New designs of missing elements that are physically, visually, materially, and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection are preferred. Here close inspection means detectable by a trained professional, such as an architect or architectural historian, when across the street or at arm's length.

5.5.2 New Wings and Extensions

- a) No new wing, extension or other additions may be taller than the residential character-defining structure.
- b) New wings, extensions or other additions shall be located to the side or back of residential character-defining structures. Additions to the front of existing principal façades are prohibited.

- c) New wings, extensions or other additions shall be offset approximately 1 foot (a third of a metre) from the principal façade (i.e., deeper into the lot, further away from the street).
- d) New wings, extensions or other additions shall be constructed in wood and clad in the same material to the exact specifications as the cladding of the residential character-defining building, except where non-combustible materials are required under the Building Code.
- e) New wings, extensions or other additions shall have a roof shape similar or complementary to the roof shape of the residential character-defining building.
- f) New windows shall respect the proportions and detailing and be horizontally and vertically aligned with the existing openings of the residential character-defining structures. Windows on new wings, extensions or other additions shall continue the pattern, rhythm, proportions, and alignment of windows on the existing building.
- g) The area of any façade visible from the public realm occupied by window and door openings shall be no greater than 25%, other than sunrooms, where an area of up to 80% on one level may be approved.
- h) Any rearrangement of windows should be done on the parts of buildings least visible from the public realm. The arrangement of windows on the principal façade may not be altered.
- i) Four skylights are permitted. More than four skylights may be approved, provided the total number of skylights on a roof slope does not exceed the total number of bays on the corresponding elevation.
- j) The form, appearance, proportion, materials, door panel style and details of new doors should match those of existing openings on the residential character-defining building and respect the hierarchy of entrances.
- k) New wings, extensions or other additions to residential character-defining structures shall include trim and decorative detailing commensurate in material and style with the residential character-defining structure. They should not substantially diverge in alignment or size.
- l) Additions to residential character-defining structures shall incorporate door and window trim that complement the historic trim work on the character-defining building.
- m) While attics may be modified for use, lifting a roof and adding an extra storey to a residential character-defining structure is prohibited.


5.5.3 New Rooftop Elements, including Dormers and Skylights

- a) Additions to roofs, such as access stairs, elevator or mechanical equipment housing, and decks and terraces, are discouraged. Such additions shall not substantially alter the established shape or form of roofs. Rooftop decks on the principal roof are prohibited.
- b) Whenever possible, locate new rooftop elements, such as vents, drainage components, satellite dishes, solar panels, skylights, etc., out of view of the public realm. Again, such additions shall not substantially alter the established shape or form of the roof.
- c) New dormers are encouraged on existing buildings but shall not substantially alter the established shape or form of the roof. New dormers should not detract from the roofline or visually overwhelm existing dormers in design, placement, or scale.
- d) Dormers, including existing dormers, shall not exceed one-third (1/3) of the structure's total roof area. No more than four dormers shall be permitted on any one single roof. Notwithstanding the preceding, more than four dormers may be approved, provided the total number of dormers does not exceed the number of bays on the building's corresponding wall elevation.
- e) Dormers should be vertically aligned or centred between the existing window or door openings in the corresponding façade. Dormers may be offset from window openings if it provides for an overall balanced façade design.

- f) Where dormers already exist on the roof of a residential character-defining building, new dormers shall be similar or complementary to the existing dormers in style, proportion, size, trim and window style, profile, and orientation.
- g) Where no dormers already exist on the roof of a residential character-defining building, dormers shall be inspired by historic examples found on residential character-defining structures, including but not limited to Gothic, Scottish, Peaked, Pedimented, Hipped, Round-headed and Shed dormers and overhanging dormers like the Lunenburg Bump. Shed dormers should be inset from the roof edges so that they do not obscure the roof's shape.
- h) Large, shed dormers should preferably be located at the rear of residential character-defining structures to preserve the architectural integrity of the principal façade.
- i) Four skylights are permitted. More than four skylights may be approved, provided the total number of skylights on a roof slope does not exceed the total number of bays on the corresponding elevation.
- j) Skylights shall be placed in a visually balanced arrangement relative to the width of the roof and the arrangement of window and door openings in the corresponding façade. Skylights shall be centred on the roof or vertically aligned with window and door openings. Skylights may be offset from window openings if it provides for an overall balanced façade design.
- k) Skylights shall be parallel with the roof slope and possibly be flush with the roof's pitch but shall not exceed 30.5 centimetres (12 inches) in height from the roof's surface.
- l) Skylights may be vertically oriented or square in profile. They may be constructed of wood or metal, provided the metal has a dark or medium-tone matte colour finish that is compatible with the colour of the roof.
- m) Bubble-style skylights and mirrored glass skylights are prohibited.

5.5.4 New Windows and Doors

- a) New windows shall respect the proportions and detailing and be horizontally and vertically aligned with the existing openings of the residential character-defining structures.
- b) New windows shall match the existing windows' profile (glazing style) and be trimmed similarly.
- c) Windows on new wings, extensions or other additions shall continue the pattern, rhythm, proportions, and alignment of windows on the existing building.
- d) Round-headed, pointed, diamond-shaped, or circular windows modelled on the various traditional examples shall be permitted, provided they are consistent and compatible with the building's architectural style.
- e) Square or horizontally orientated windows may be allowed on non-principal façades to accommodate internal functions such as kitchens and bathrooms.
- f) Slider windows or curved bow windows are prohibited.
- g) The addition of shutters without historical evidence of their prior existence is prohibited.
- h) While removable wooden storm windows are preferred, fixed metal or aluminum storm windows are permitted, provided they have sash divisions that correspond with those of the windows being covered or otherwise have no sash divisions and provided they have a painted matte finish. Exposed bare metal, bright reflective, and shiny metal storm windows shall be prohibited.
- i) New doors should not be visible from the public realm if possible.
- j) New doors may not be added to existing principal façades. However, new doors may be added to the street-facing elevations of new additions.
- k) New doors shall be traditional solid wooden, fibreglass or metal-panelled doors in conformance with the building's style.

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- l) Modern door styles such as flush surface doors (no panels), doors with diagonal moulding patterns, and doors with non-traditional glazing patterns are prohibited.
 - m) New doorways shall not compete with principal entrances. Historic hierarchies of entrances on buildings should be maintained where they exist.
 - n) Fully glazed patio doors are prohibited on the principal front façade and/or the principal flanking façade.

5.5.5 New Decks, Porches, Verandahs, Balconies, Ramps and Stairs

- a) New decks, porches, verandahs, balconies, ramps, lifts, and stairs by applicable codes, regulations, or accessibility standards shall be done in a manner that does not detract from the character-defining structure. New decks, porches, verandahs, balconies, ramps, and stairs shall be compatible with, subordinate to and distinguishable from the character-defining structure upon close inspection. Here distinguishable upon close inspection means detectable by a trained professional, such as an architect or architectural historian, when across the street or at arm's length.
- b) New decks, porches, verandahs, balconies, ramps, and stairs shall be constructed of wood.
- c) Except in the case where a new design that is physically, visually, materially and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection is replacing a missing historical element of the building (for example, a Victorian verandah that was at one time removed and not replaced), new decks, porches, patios, balconies, stairs and verandahs shall not be added to the existing principal façade. However, new decks, porches, patios, balconies, stairs, and verandahs may be added to the street-facing elevations of new additions.

5.6 Alterations to Residential Character-Defining Structures

Every effort shall be made to preserve historic fabric through maintenance, repair, and replacement in kind. Altering historical material on the exterior of character-defining structures should be avoided whenever possible. Alterations shall not be permitted unless they are minimal and reversible.

Where incompatible or insensitive alterations have been made before the enactment of this by-law, they may be reversed. However, the restoration of missing features is discouraged. New designs of missing elements that are physically, visually, materially, and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection are preferred.


Substitute materials should be explored only after all other options for repair and replacement have been ruled out. They should be used only when the original materials or craftsmanship are unavailable, are of poor quality, or damage character-defining materials. Because there are so many unknowns about the long-term performance of substitute materials, their use should not be considered without a thorough investigation of their composition. The importance of finding visually, stylistically, and physically compatible substitute materials cannot be overstated.

The Heritage Officer shall refuse any alteration to the historic fabric of a character-defining structure that would irreversibly compromise the structure's heritage value.

5.6.1 Alterations May Be Approved

The following alterations to character-defining structures may be approved:

- a) Modifications to existing entrances, doors, stairs, porches, balconies, or verandahs to meet accessibility and code regulation requirements. Changes shall not detract from the character-defining structure and shall be compatible with, subordinate to and distinguishable from the



character-defining structure upon close inspection. Here distinguishable upon close inspection means detectable by a trained professional, such as an architect or architectural historian, when across the street or at arm's length from the modification. Owners are strongly encouraged to work with case specialists to determine the most appropriate solutions to health, safety, security, and accessibility requirements with the most negligible impact on character-defining structures.

- b) Present-day materials and technologies should be chosen and used with the greatest caution and only in cases where the durability and structural behaviour of the materials and construction techniques have been satisfactorily proven over a sufficiently long period.
- c) Adding new features to meet sustainability requirements, such as solar panels or a green roof, in a manner that respects the exterior form and minimizes impact on the character-defining structure.
- d) Replacement glazing may be approved when historic glazing is damaged or windows are being retrofitted to improve sustainability.
- e) Replacement doors, including those made of non-historic materials, may be approved if they are physically, visually, and stylistically compatible with the character-defining building. Compatibility includes, but is not limited to, their detailing, profile, and proportion. The door opening shall not be altered. Where a doorway has sidelights, transom windows or double doors, these aspects shall be preserved. Surrounding trim shall also be preserved.
- f) New roof coverings may be approved if the pitch, shape and architectural detailing, including, but not limited to, architectural details like dormers, cornices, brackets, dentils, fascia, and widows' walks remain the same, and the new materials are physically, visually and stylistically compatible with the character-defining building.

5.4.1 Alterations Prohibited

For clarity, the following alterations to residential character-defining structures are prohibited:

- a) No attempt should be made to 'correct' deflections that have occurred over time and which have no structural significance, and present no difficulties of use, simply to address present-day aesthetic preferences.
- b) Changes over time should be appreciated and understood as essential aspects of vernacular architecture. Extensive restoration is prohibited.
- c) Replacement or covering of traditional cladding materials with non-wooden materials, including but not limited to stucco, vinyl siding, aluminum siding and brick or stone veneer.
- d) Replacement of narrow clapboard or shingles with wide siding or shingles.
- e) Removing without replacing in kind dormers, frontispieces, bay windows, and architectural decoration such as door and window trim boards, corner boards, and undersides of projecting elements.
- f) Changes to the dimension, detailing and placement of historic entrances. Entries should be maintained as functioning entrances. Historic hierarchies of entries on buildings should be maintained where they exist.
- g) Changes to the dimension, detailing and placement of historic windows.
- h) Blocking or removing historic window and door openings.

5.7 Additions to Marine-Industrial Character-Defining Structures

Additions are preferable to substantially changing historic fabric. Yet while constructing an exterior addition may seem essential, they should be avoided and considered only after it is determined that new needs cannot be met by altering non-character-defining interior spaces.

5.7.1 Overarching Guidelines

The following guidelines apply to all additions to marine-industrial character-defining buildings:

- a) Additions shall be physically, visually, and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection, especially in size or massing. Here, distinguishable upon close inspection means recognizable by a trained professional, such as an architect or architectural historian, as distinct from the character-defining building when viewed from arm's length, across the street or the harbour.
- b) Additions should be designed so that their impact on the form and style of the character-defining building are not negatively impacted if the new work is removed in the future.
- c) Additions shall minimize the loss or obstruction of the character-defining building's significant architectural features, including but not limited to windows, doors and trim.
- d) Additions should be designed to minimize their visual impact when viewed from the public realm, including the harbour.
- e) Council strongly encourages working with accessibility and conservation specialists and users to determine the most appropriate solution to accessibility issues with the most negligible impact on the district's character-defining elements, including individual character-defining structures.
- f) Restoring missing features that support traditional practices is encouraged.
- g) Restoration of other missing features is allowed, however, new designs of missing elements that are physically, visually, materially, and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection are preferred.

5.7.2 New Wings and Extensions

- a) No new wing, extension or other substantial additions may be taller than the marine-industrial character-defining structure.
- b) The articulation of additions will complement the articulation of the marine-industrial character-defining structures, including, but not limited to, roofs, eaves, windows, doors, and trim.
- c) New wings, extensions or other substantial additions shall use the same facing as the rest of the building.
- d) New wings, extensions or other substantial additions shall have a roof shape similar or complementary to the roof shape of the marine-industrial character-defining building.
- e) Substantial additions onto marine-industrial character-defining structures shall incorporate door and window trim that complement or match the historic trim work on the character-defining building.

5.7.3 New Rooftop Elements, including Dormers and Skylights

- a) Additions to roofs, such as access stairs, elevator or mechanical equipment housing, and decks and terraces, are discouraged. Such additions shall not substantially alter the established shape or form of roofs. Rooftop decks on the principal roof shall be prohibited.
- b) Skylights shall be parallel with the roof slope and possibly be flush with the roof's pitch but shall not exceed 30.5 centimetres (12 inches) in height from the roof's surface.
- c) Bubble-style skylights and mirrored glass skylights are prohibited.
- d) Four skylights are permitted. More than four skylights may be approved, provided the total number of skylights on a roof slope does not exceed the total number of bays on the corresponding elevation.

5.7.4 New Windows and Doors

- a) New windows shall respect the proportions and detailing and be horizontally and vertically aligned with the existing openings of the marine-industrial character-defining structures.

- b) New windows shall match the existing windows' profile (glazing style) and be trimmed similarly.
- c) Windows on new additions shall continue the pattern, rhythm, proportions, and alignment of windows on the existing building.
- d) Slider windows or curved bow windows are prohibited.
- e) Addition of shutters without historical evidence of their prior existence is prohibited.
- f) While removable wooden storm windows are preferred, fixed metal or aluminum storm windows are permitted, provided they have sash divisions that correspond with those of the windows being covered or otherwise have no sash divisions and provided they have a painted matte finish. Exposed bare metal, bright reflective, and shiny metal storm windows shall be prohibited.
- g) Doors visible from the public realm should preferably be made of wood with glazing inspired by doors of character-defining structures. However, modern doors are permitted.
- h) Historic hierarchies of entrances on buildings should be maintained where they exist.
- i) Fully glazed patio doors are prohibited on the principal front façade.

5.7.4 New Decks, Porches, Verandahs, Balconies, Ramps and Stairs

- a) New decks, porches, ramps and stairs shall be done in a manner that does not detract from the character-defining structure. New decks, porches, verandahs, balconies, ramps, and stairs shall be compatible with, subordinate to and distinguishable from the character-defining structure upon close inspection. Here distinguishable upon close inspection means detectable by a trained professional, such as an architect or architectural historian, from across the street, from the harbour or at arm's length.
- b) New decks, porches, ramps, and stairs shall be constructed of wood.

5.8 Alterations to Marine-industrial Character-Defining Structures


Every effort shall be made to preserve historic fabric through maintenance, repair, and replacement in kind. Altering historical material on the exterior of character-defining structures should be avoided whenever possible. However, greater leniency may be provided in altering character-defining marine industrial structures if it allows for the continuation or return of traditional marine-industrial functions to the Waterfront Area.

Where incompatible or insensitive alterations have been made before the enactment of this by-law, they may be reversed. However, the restoration of missing features is discouraged. New designs of missing elements that are physically, visually, materially, and stylistically compatible with, subordinate to and distinguishable from the character-defining building upon close inspection are preferred.

Substitute materials should be explored only after all other options for repair and replacement have been ruled out. They should be used only when the original materials or craftsmanship are unavailable, are of poor quality, or damage character-defining materials. Because there are so many unknowns about the long-term performance of substitute materials, their use should not be considered without a thorough investigation of their composition. Once again, however, greater leniency may be provided in altering character-defining marine-industrial structures if it allows for the continuation or return of traditional marine-industrial functions to the Waterfront Area.

The Heritage Officer shall refuse any alteration to the historic fabric of a character-defining structure that would irreversibly compromise the structure's heritage value.

5.8.1 Alterations May Be Approved



The following alterations to character-defining structures may be approved:

- a) Modifications to existing entrances, doors, stairs, or decks to meet accessibility and code regulation requirements. Changes should not detract from the character-defining structure and shall be compatible with, subordinate to and distinguishable from the character-defining structure upon close inspection. Here distinguishable upon close inspection means detectable by a trained professional, such as an architect or architectural historian, when viewed from across the street, the harbour or at arm's length from the modification. Owners are strongly encouraged to work with case specialists to determine the most appropriate solutions to health, safety, security, and accessibility requirements with the most negligible impact on character-defining structures.
- b) Present-day materials and technologies should be chosen and used with the greatest caution and only in cases where the durability and structural behaviour of the materials and construction techniques have been satisfactorily proven over a sufficiently long period.
- c) Adding new features to meet sustainability requirements, such as solar panels or a green roof, in a manner that respects the exterior form and minimizes impact on the character-defining structure.
- d) Replacement glazing may be approved when historic glazing is damaged or windows are being retrofitted to improve sustainability.
- e) Replacement doors, including those made of non-historic materials, may be approved if they are physically, visually, and stylistically compatible with the character-defining building. Compatibility includes, but is not limited to, their detailing, profile, and proportion. Existing doorway openings are encouraged to be preserved in dimension and design. However, doorways may be altered to accommodate marine-industrial functions. Surrounding trim shall be preserved or replaced in-kind.
- f) New roof coverings may be approved if the pitch, shape and architectural detailing, will remain the same, and the new materials are physically, visually and stylistically compatible with the character-defining building.


5.8.2 Alterations Prohibited

For clarity, the following alterations to marine-industrial character-defining are prohibited:

- a) No attempt should be made to 'correct' deflections that have occurred over time and which have no structural significance, and present no difficulties of use, simply to address present-day aesthetic preferences.
- b) Changes over time should be appreciated and understood as essential aspects of vernacular architecture. Extensive restoration is prohibited.
- c) Replacement or covering of traditional cladding materials with non-wooden materials, including but not limited to stucco, vinyl siding, aluminium siding and brick or stone veneer.
- d) Replacement of narrow clapboard or shingles with wide siding or shingles.
- e) Entries should be maintained as functioning entrances. Historic hierarchies of entries on buildings should be maintained where they exist.
- f) Blocking or removing historic window and door openings.
- g) Changes to the dimension, detailing and placement of historic windows.

5.9 Locally Significant, Civic and Ecclesiastic Character-Defining Structures

Civic, ecclesiastic, and locally significant structures within the district are special due to their exceptional physical attributes. Each is unique and shall be conserved according to their individual statements of significance (See Appendix F). These buildings shall be managed to the highest conservation standard.


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1. All locally significant and civic and ecclesiastic character-defining structures shall be conserved referencing their individual statements of significance (See Appendix F)
 2. All character-defining elements of locally significant, civic, and ecclesiastic character-defining structures shall be conserved. They may not be damaged, destroyed, removed, obscured, or altered in any way beyond maintenance, repair and replacement in-kind.
 3. When character-defining elements shall be repaired they should be repaired according to traditional practices.
 4. When character-defining elements shall be replaced, they shall be replaced in-kind.
 5. No alteration or addition may detract, obscure, or endanger any character-defining element.
 6. Additions shall be physically, visually, and stylistically compatible with, subordinate to and distinguishable upon close inspection. Close inspection here means detectable by a trained professional, such as an architect or architectural historian, when standing across the street from the building.
 7. Additions shall use the same exterior cladding material(s) as the existing building and pay homage to the building's character-defining architectural elements.
 8. Alterations shall be physically, visually, and stylistically compatible with, subordinate to and distinguishable upon close inspection. Close inspection here means detectable by a trained professional, such as an architect or architectural historian, when within arm's length of the alteration.
 9. No attempt should be made to 'correct' deflections that have occurred over time and which have no structural significance, and present no difficulties of use, simply to address present-day aesthetic preferences.
 10. Owners are strongly recommended to work with accessibility and conservation specialists and users to determine the most appropriate solution to accessibility issues with the least impact on heritage value.

5.10 Demolition or Removal of Character-Defining and Locally Significant Structures

Character-defining and locally significant buildings should not be demolished, removed, replaced, or substantially altered. The demolition or removal of character-defining or locally significant buildings will only be approved in exceptional circumstances through a Public Hearing Process. Poor physical condition, even substantial damage, is insufficient to support applications to demolish or remove a character-defining building. Applicants shall prove a building has irreversible structural damage. An Applicant shall submit two independently prepared engineering reports by two different accredited engineers with experience assessing heritage structures detailing the structure's condition and attesting to its being beyond repair. The Town may also conduct its own structural assessment, including consulting or hiring an external expert.

Below are stipulations on what will be considered an acceptable engineering report for evaluating applications to demolish or remove a character-defining or locally significant structure.

1. **Qualified Engineer:** The engineering report should be prepared by a qualified professional engineer with expertise in heritage structures, or a structural engineer experienced in assessing historic buildings. The engineer should possess the necessary qualifications and be licensed to practice in the jurisdiction.
2. **Site Inspection and Assessment:** The report should include a detailed site inspection conducted by the engineer. This inspection should assess the structure's condition, including the building's stability, foundations, load-bearing elements, and other critical components. The assessment



should identify any structural deficiencies or vulnerabilities that may impact the integrity of the building.

3. **Structural Analysis:** The engineering report should provide a thorough structural analysis of the building. This analysis should evaluate the existing structural system, materials, and construction methods employed in the historic building. The report should assess the structural capacity, load-bearing capabilities, and any potential risks associated with the demolition process.
4. **Heritage Impact Assessment:** The engineering report should include a heritage impact assessment, which examines the potential impacts of demolition on the heritage value of the district and its surroundings. This assessment should consider the structure's historical significance, architectural character, and contextual relationships.
5. **Preservation Options:** The engineering report should explore feasible preservation options to retain or integrate the heritage structure within new development plans. This assessment should consider adaptive reuse, structural stabilization, or other strategies that promote the preservation of heritage elements.
6. **Mitigation Measures:** If demolition is deemed necessary, the engineering report should propose appropriate mitigation measures to minimize the loss of heritage value. These measures may include salvaging and documenting significant architectural elements, recording the building's history, or integrating salvaged materials into new construction projects.

6 Other Structures and Interventions

6.1 Fences

The height of fences is regulated under the Land Use By-Law. Applications for new fences that would obstruct views of character-defining elements from the public realm, including individual character-defining or locally significant structures, may be rejected.

1. Fences outside the Waterfront Area shall be wooden, wrought iron or aluminium.
2. The following fence types are prohibited outside the Waterfront Area:
 - a) Plastic fences
 - b) Chain link fences
 - c) Wire fences
 - d) Metal panel fences
3. The following fence type are allowed across the District:
 - a) Vertical board fences
 - b) Horizontal post and rail fences
 - c) Lattice fences
 - d) Picket fences
4. Fences may be painted or stained a solid colour or may be left to weather naturally.

6.2 Retaining Walls

Ideally, retaining walls should not distract from surrounding character-defining buildings and should be less than 1.2 metres (4 feet) in height. Using soft landscaping to screen retaining walls is strongly encouraged. Gabion walls are prohibited within the district. Boulder, wooden planks, and wooden timbers are preferred. Taller retaining walls are discouraged but are allowed within the district to ensure public safety, accessibility, and the longevity of existing buildings.

6.3 Outbuildings (Accessory Buildings)

6.3.1 Provisions

Provisions in this section apply to new outbuildings and the alteration of existing outbuildings.

- a) Outbuildings, including but not limited to sheds and garages, shall be physically, visually, and stylistically compatible with and subordinate to the property's main building.
- b) Outbuildings shall be stylistically coherent with the main building. This can most easily be accomplished by incorporating similar roof types and pitches, window designs, exterior cladding materials, colour, and architectural detailing.
- c) New outbuildings in all areas except the Waterfront shall be clad in wooden clapboard or shingles or otherwise match the cladding present on the existing main building. Materials other than wood are permitted for windows, doors, and roofs.
- d) Prefabricated metal or plastic storage sheds are prohibited outside the Waterfront Area.

6.3.1 Outbuildings Not Requiring a Certificate

The following do not require a Certificate of Appropriateness:

- a) Pet houses and children's play structures;
- b) Canvas and plastic tarp buildings on lots directly abutting Lunenburg's Harbour located in the Waterfront Area, subject to the requirements of the Land Use By-law, for the enclosure of ships, vessels and other marine-related equipment and accessory components; and
- c) Temporary structures erected for temporary use pursuant to the Town's Land Use By-law.


6.4 Signs

6.4.1 Provisions

The Land Use Bylaw regulates signs throughout the Town with respect to size, locations, and safety. The following guidelines supplement the requirements of the Land Use By-law. The Lunenburg Signage Manual should be used as a guide to good design typography and installation of signs.

Where a commercial building façade includes a signboard above the storefront windows, new fascia signs should be painted or affixed within this space. Flat fixed wall signs are best suited to buildings that have been converted to commercial use from residential use and where there is available wall space between windows and doors. Painted window signs can enhance the appearance of a storefront and are an effective signage alternative where there is limited opportunity for a fascia or flat fixed wall sign.

- a) Signs should complement the architecture of the building with which they are visually associated in terms of scale, shape, placement, typography, and colour. Signs should not visually dominate a building.
- b) New signs should present concise information in a simple manner, using clear crisp lettering.
- c) New signs should be no larger than they need to be to convey their visual message. Generally, legibility depends more on colour and lettering style than it does on actual size.
- d) To be effective without being visually dominant no more than 25% of the glass area of any window may be covered by anything affixed directly to the glass, whether inside or out.
- e) New signs shall be constructed of wood, metal or synthetic materials made to replicate the appearance of wood or metal and may have painted, incised, or raised lettering.
- f) Signs may be illuminated by exterior lighting directed exclusively upon the sign.
- g) Projecting wall signs should be vertically and horizontally aligned with architectural elements in the façade e.g., the edges of windows, doors, or storefront; the mid-point of spaces between features; the top of windows; or the lines of a transom or fascia board.
- h) Signs shall not obscure architectural details, including, but not limited to cornices or the tops of the windows, cornices or trim details.

- 
- i) Flashing signs are prohibited. External lights used to illuminate signs shall not flash or change in colour or intensity.
 - j) Internally lit signs are prohibited except for "open" signs placed on the internal side of windows and doors.
 - k) Signs fixed to, supported by, or painted on the roof of any buildings are prohibited.
 - l) Flat fixed wall signs shall not extend beyond the extremities of the wall.
 - m) Commercial signs may not be fixed to upper stories of buildings unless the business that it advertises is occupying the upper stories.

6.3.1 Signs Not Requiring a Certificate

The following do not require a Certificate of Appropriateness:

- h) Temporary signs erected pursuant to the Town's Land Use By-law.

6.5 Mechanical and Electrical Equipment

Mechanical equipment, including but not limited to fuel tanks, garbage containers, air conditioning units, heat pumps, electrical transformers, and other mechanical or electrical equipment, shall be permitted in the Heritage Conservation District subject to the following conditions:

- Utility structures shall not be located on the front façade of buildings, in the front yard or in the flanking yard.
- Where utility structures are visible from the public realm, they shall be screened by one or a combination of the following:
 - Evergreen landscaping;
 - Fencing in compliance with the guidelines pertaining to fences (Section 6.1);
 - Garden trellises
 - Structures or outbuildings in compliance with the guidelines pertaining to outbuildings (Section 6.3)
- Pipes and venting may not extend past rooflines.
- Pipes and venting must be painted to match the building's exterior finish.

Provisions pertaining to mechanical and electrical equipment (Section 6.5) do not apply in the Waterfront Area.

6.6 Solar Panels and Alternative Energy Generation Mechanisms

Solar panels and other green energy technology improve sustainability and are encouraged within the district.


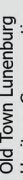
1. Four roof-mounted solar panels are permitted. More than four solar panels may be approved, provided the total number of skylights on a roof slope does not exceed the total number of bays on the corresponding elevation.
2. Solar panels shall be placed in a visually balanced arrangement relative to the width of the roof and the arrangement of window and door openings in the façade. Solar panels shall be centred on roofs or vertically aligned with window and door openings. Solar panels may be offset from window openings if it provides for an overall balanced façade design.
3. Solar panels and other alternative energy generation mechanisms should not be installed on the front façade of buildings or in the front yard.
4. Solar panels and other alternative energy generation mechanisms should not obscure character-defining structures or their architectural details.

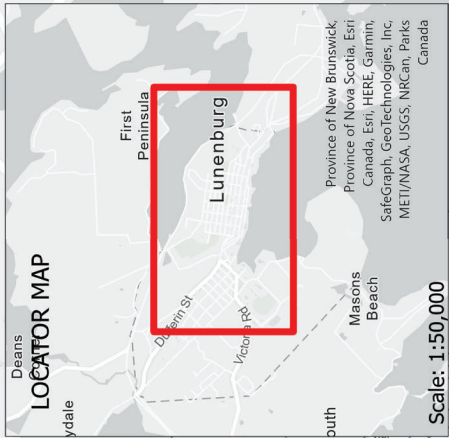


5. Solar panels should be installed to not substantially alter the established shape or form of the roof(s).
6. Low-impact alterations to adapt to the effects of climate change, such as the colour of exterior surfaces to reduce inside temperature, should be considered whenever possible.

APPENDIX B - Map 1 Old Town Lunenburg Heritage Conservation District Boundary

Legend

-  Properties
-  Old Town Lunenburg Heritage Conservation District



Scale: 1:50,000

Lunenburg
117.4 ha



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TOWN OF LUNENBURG Heritage Conservation District - Map 1

GN

380

Metres

Scale: 1:6,000

APPENDIX C - Map 2 Old Town Lunenburg Heritage Conservation District Heritage Character Areas

Legend

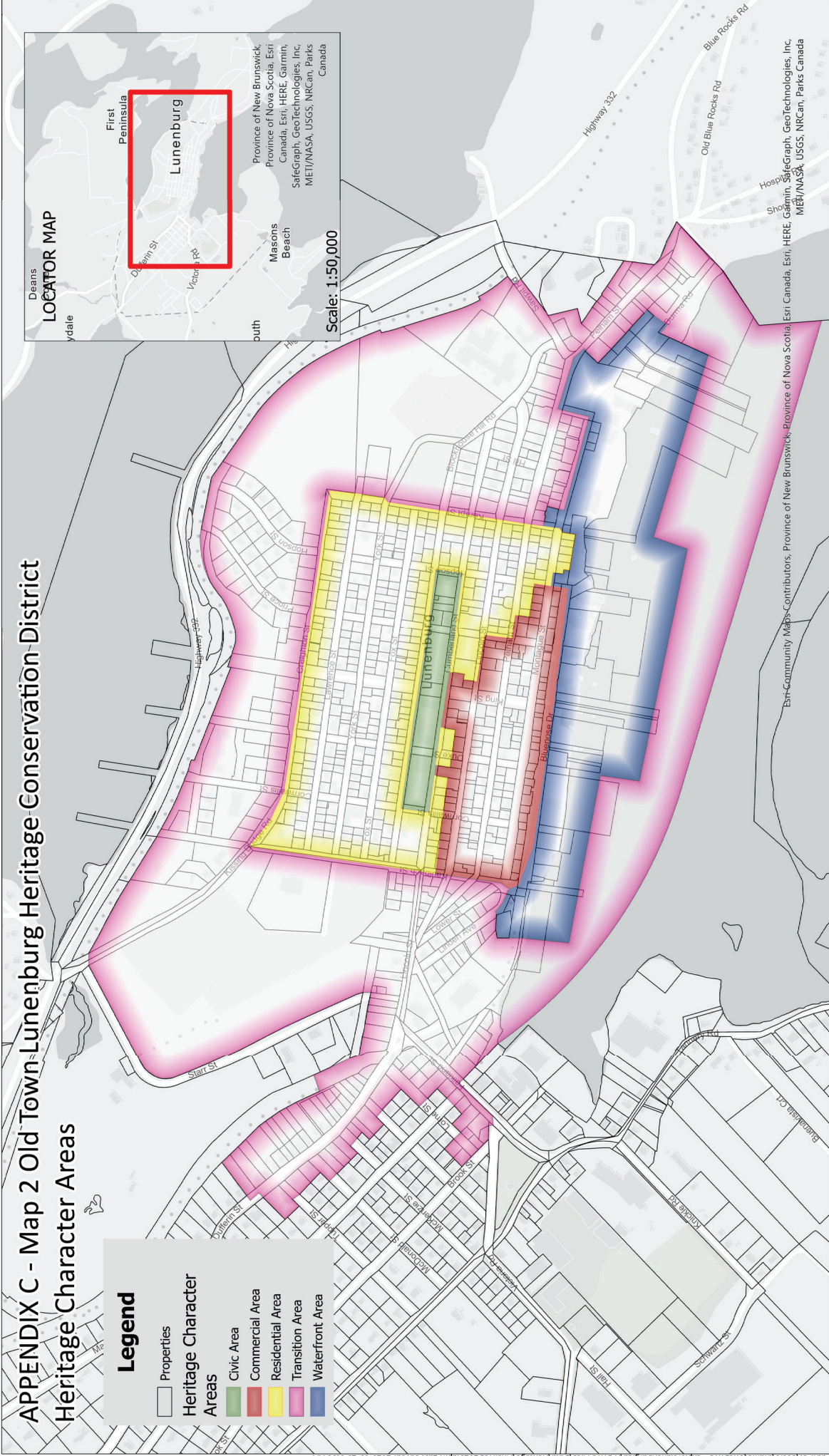
- Properties
- Heritage Character Areas
- Civic Area
- Commercial Area
- Residential Area
- Transition Area
- Waterfront Area

LOCATOR MAP

Province of New Brunswick
Province of Nova Scotia, Esri
Canada, Esri, HERE, Garmin,
SafeGraph, GeoTechnologies, Inc,
METI/NASA, USGS, NRCAN, Parks
Canada

Masons Beach

Scale: 1:50,000



Scale: 1:6,000

380

Metres

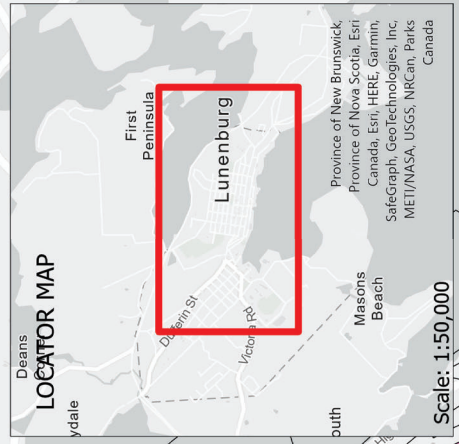
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TOWN OF LUNENBURG
Heritage Conservation District - Map 2

Esri-Community Maps Contributors, Province of New Brunswick, Province of Nova Scotia, Esri Canada, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, NRCAN, Parks Canada

Map 2 are for graphical purposes only. They do not represent a legal survey. The Town of Lunenburg does not assume that these data are accurate and reliable within the limits of the current state of the art. The Town of Lunenburg cannot assume liability for any damages caused by any errors or omissions in the data. Users of our maps and other analysis products are solely responsible for interpretations made from these products.

APPENDIX D - Map 3 Character-Defining, Locally Significant and Supporting Properties



Scale: 1:50,000

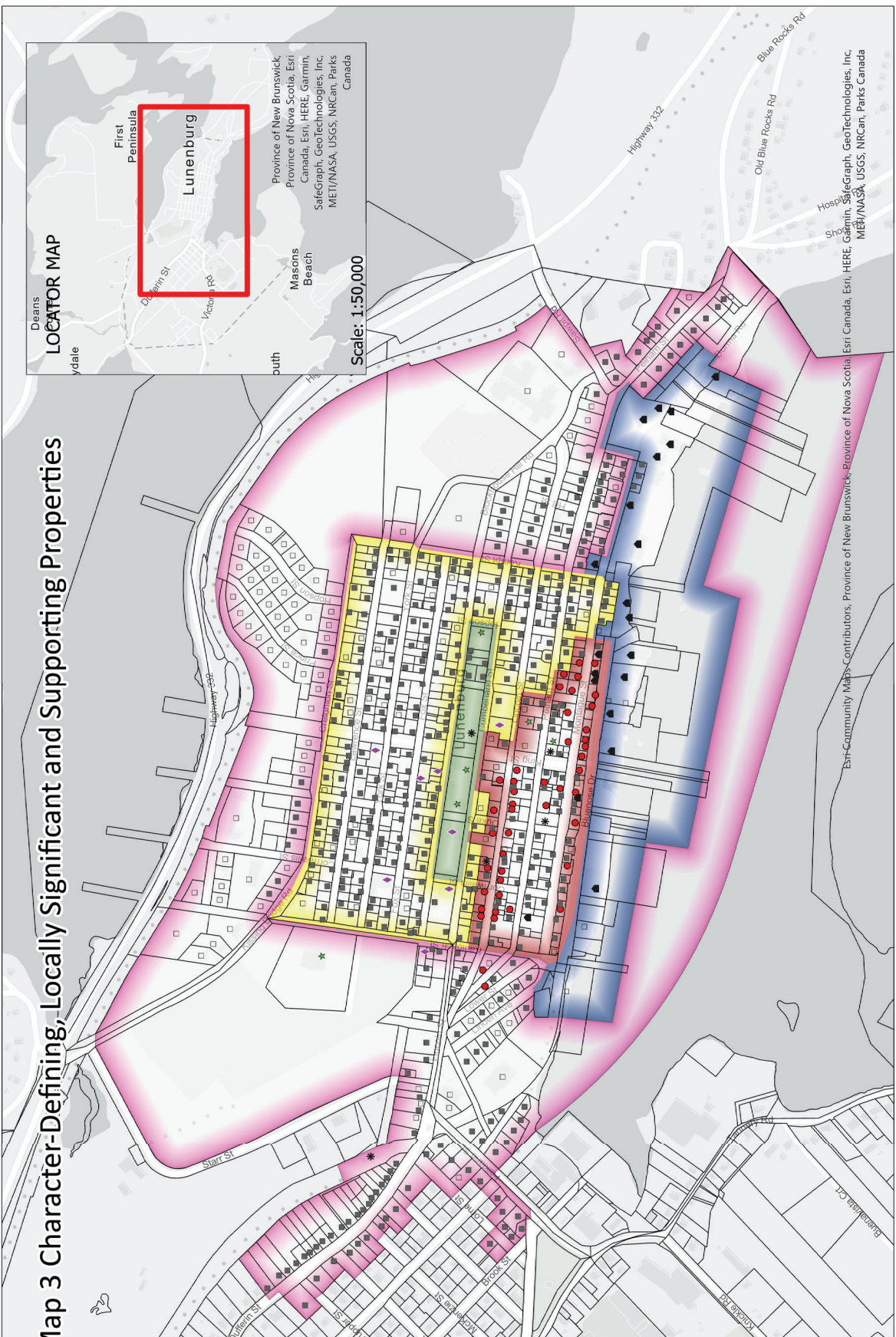
Legend

Structure Categories

- Character Defining Commercial
- Character Defining Civic
- Character Defining Ecclesiastic
- Character Defining Local
- Character Defining Marine
- Character Defining Residential
- Supporting Structure
- Properties

Heritage Character Areas

- Civic Area
- Commercial Area
- Residential Area
- Transition Area
- Waterfront Area



GN

Scale: 1:6,000

380

Metres

TOWN OF LUNENBURG Heritage Conservation District - Map 3

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Appendix E: List of Character-Defining, Locally Significant and Supporting Structures

Unless otherwise specified, the structure type listed for each address applies to the main building at each address. Outbuildings (accessory buildings) are Supporting Structures.

Civic Address	PID	Structure Type
6 ARCHIBALD ST	60055597	Residential Character-Defining Structure
7 BLOCKHOUSE HILL RD	60060159	Supporting Structure
18-20 BLOCKHOUSE HILL RD	60700408	Supporting Structure
24 BLOCKHOUSE HILL RD	60670171	Supporting Structure
25 BLOCKHOUSE HILL RD	60056850	Supporting Structure
28 BLOCKHOUSE HILL RD	60062361	Supporting Structure
30 BLOCKHOUSE HILL RD	60062379	Supporting Structure
37 BLOCKHOUSE HILL RD	60056843	Supporting Structure
321 BLUE ROCKS RD	60063625	Supporting Structure
322 BLUE ROCKS RD	60063575	Residential Character-Defining Structure
326 BLUE ROCKS RD	60063583	Residential Character-Defining Structure
332 BLUE ROCKS RD	60063591	Residential Character-Defining Structure
334 BLUE ROCKS RD	60063609	Supporting Structure
0 BLUENOSE DR (EAST)	60063310	Marine Character-Defining Structure
0 BLUENOSE DR (WEST)	60063310	Marine Character-Defining Structure
32 BLUENOSE DR	60386141	Supporting Structure
39 BLUENOSE DR	60063013	Supporting Structure
52 BLUENOSE DR	60062999	Supporting Structure
68 BLUENOSE DR	60063120	Marine Character-Defining Structure
128 BLUENOSE DR	60063237	Marine Character-Defining Structure
146 BLUENOSE DR	60386547	Marine Character-Defining Structure
150 BLUENOSE DR	60489929	Supporting Structure
152 BLUENOSE DR	60489929	Supporting Structure
160 BLUENOSE DR	60489929	Marine Character-Defining Structure
161 BLUENOSE DR	60635430	Marine Character-Defining Structure
161B BLUENOSE DR	60635430	Marine Character-Defining Structure
174 BLUENOSE DR	60063286	Marine Character-Defining Structure
28 BROOK ST	60054384	Residential Character-Defining Structure
4 BURMA RD	60063427	Marine Character-Defining Structure
14 BURMA RD	60063427	Marine Character-Defining Structure
15 BURMA RD	60063427	Marine Character-Defining Structure
23 BURMA RD	60063427	Marine Character-Defining Structure
28 BURMA RD	60385820	Marine Character-Defining Structure

52 BURMA RD	60063492	Marine Character-Defining Structure
21 CORNWALLIS ST	60061256	Commercial Character-Defining Structure
25 CORNWALLIS ST	60062064	Commercial Character-Defining Structure
30 CORNWALLIS ST	60062072	Residential Character-Defining Structure
31 CORNWALLIS ST	60060852	Residential Character-Defining Structure
33 CORNWALLIS ST	60060845	Residential Character-Defining Structure
49 CORNWALLIS ST	60059912	Residential Character-Defining Structure
60 CORNWALLIS ST	60059920	Residential Character-Defining Structure
72 CORNWALLIS ST	60059367	Residential Character-Defining Structure
74 CORNWALLIS ST	60058880	Residential Character-Defining Structure
83 CORNWALLIS ST	60058864	Residential Character-Defining Structure
84 CORNWALLIS ST	60058898	Residential Character-Defining Structure
86 CORNWALLIS ST	60058401	Residential Character-Defining Structure
94 CORNWALLIS ST	60058419	Residential Character-Defining Structure
95 CORNWALLIS ST	60058393	Residential Character-Defining Structure
105 CORNWALLIS ST	60057734	Supporting Structure
119 CORNWALLIS ST	60057726	Supporting Structure
124 CORNWALLIS ST	60658879	Supporting Structure
71 CREIGHTON ST	60057502	Residential Character-Defining Structure
76 CREIGHTON ST	60058427	Supporting Structure
77 CREIGHTON ST	60057478	Residential Character-Defining Structure
80 CREIGHTON ST	60058435	Residential Character-Defining Structure
84 CREIGHTON ST	60058443	Residential Character-Defining Structure
85 CREIGHTON ST	60057452	Residential Character-Defining Structure
91 CREIGHTON ST	60057445	Residential Character-Defining Structure
94 CREIGHTON ST	60058450	Residential Character-Defining Structure
97 CREIGHTON ST	60057437	Residential Character-Defining Structure
102 CREIGHTON ST	60632734	Residential Character-Defining Structure
105 CREIGHTON ST	60057429	Supporting Structure
113 CREIGHTON ST	60057411	Supporting Structure
114 CREIGHTON ST	60058484	Residential Character-Defining Structure
121 CREIGHTON ST	60057403	Supporting Structure
129 CREIGHTON ST	60057361	Supporting Structure
134 CREIGHTON ST	60058518	Residential Character-Defining Structure
138 CREIGHTON ST	60058526	Residential Character-Defining Structure
146 CREIGHTON ST	60058534	Residential Character-Defining Structure
147 CREIGHTON ST	60057353	Supporting Structure
149 CREIGHTON ST	60057346	Supporting Structure
153 CREIGHTON ST	60057338	Residential Character-Defining Structure
161 CREIGHTON ST	60057320	Supporting Structure
169 CREIGHTON ST	60057312	Supporting Structure

177 CREIGHTON ST	60057304	Supporting Structure
0 CUMBERLAND ST	60060746	Locally Significant Structure
40 CUMBERLAND ST	60060803	Residential Character-Defining Structure
58 CUMBERLAND ST	60665668	Residential Character-Defining Structure
65 CUMBERLAND ST	60060472	Ecclesiastic Character-Defining Structure
70 CUMBERLAND ST	60060860	Residential Character-Defining Structure
76 CUMBERLAND ST	60708641	Residential Character-Defining Structure
107 CUMBERLAND ST	60060753	Civic Character-Defining Structure
116 CUMBERLAND ST	60060894	Residential Character-Defining Structure
119 CUMBERLAND ST	60060753	Civic Character-Defining Structure
136 CUMBERLAND ST	60060928	Ecclesiastic Character-Defining Structure
150 CUMBERLAND ST	60060936	Residential Character-Defining Structure
156 CUMBERLAND ST	60062189	Residential Character-Defining Structure
161 CUMBERLAND ST	60060712	Residential Character-Defining Structure
161 CUMBERLAND ST	60060712	Residential Character-Defining Structure
170 CUMBERLAND ST	60060951	Residential Character-Defining Structure
177 CUMBERLAND ST	60528155	Civic Character-Defining Structure
186 CUMBERLAND ST	60061009	Residential Character-Defining Structure
188 CUMBERLAND ST	60061017	Residential Character-Defining Structure
195 CUMBERLAND ST	60060654	Supporting Structure
196 CUMBERLAND ST	60061025	Residential Character-Defining Structure
201 CUMBERLAND ST	60060647	Residential Character-Defining Structure
202 CUMBERLAND ST	60061033	Residential Character-Defining Structure
205 CUMBERLAND ST	60060639	Residential Character-Defining Structure
206 CUMBERLAND ST	60061041	Residential Character-Defining Structure
211 CUMBERLAND ST	60060621	Residential Character-Defining Structure
217 CUMBERLAND ST	60060613	Residential Character-Defining Structure
225 CUMBERLAND ST	60060605	Residential Character-Defining Structure
229 CUMBERLAND ST	60060597	Residential Character-Defining Structure
235 CUMBERLAND ST	60060589	Residential Character-Defining Structure
4 DUFFERIN ST	60604170	Commercial Character-Defining Structure
10 DUFFERIN ST	60057932	Residential Character-Defining Structure
18 DUFFERIN ST	60055951	Locally Significant Structure
26 DUFFERIN ST	60501210	Residential Character-Defining Structure
30 DUFFERIN ST	60055977	Residential Character-Defining Structure
36 DUFFERIN ST	60055985	Residential Character-Defining Structure
38 DUFFERIN ST	60055993	Residential Character-Defining Structure
42 DUFFERIN ST	60056009	Residential Character-Defining Structure
46 DUFFERIN ST	60056017	Residential Character-Defining Structure
47 DUFFERIN ST	60055589	Residential Character-Defining Structure
48 DUFFERIN ST	60056025	Residential Character-Defining Structure

51 DUFFERIN ST	60055571	Residential Character-Defining Structure
52 DUFFERIN ST	60056033	Residential Character-Defining Structure
56 DUFFERIN ST	60056058	Residential Character-Defining Structure
57 DUFFERIN ST	60055522	Residential Character-Defining Structure
60 DUFFERIN ST	60056066	Residential Character-Defining Structure
61 DUFFERIN ST	60055514	Residential Character-Defining Structure
64 DUFFERIN ST	60056074	Residential Character-Defining Structure
67 DUFFERIN ST	60055506	Residential Character-Defining Structure
70 DUFFERIN ST	60056082	Residential Character-Defining Structure
72 DUFFERIN ST	60056090	Residential Character-Defining Structure
75 DUFFERIN ST	60055472	Residential Character-Defining Structure
76 DUFFERIN ST	60056124	Residential Character-Defining Structure
80 DUFFERIN ST	60056132	Residential Character-Defining Structure
82 DUFFERIN ST	60056140	Residential Character-Defining Structure
83 DUFFERIN ST	60055464	Residential Character-Defining Structure
88 DUFFERIN ST	60056157	Residential Character-Defining Structure
90 DUFFERIN ST	60056173	Residential Character-Defining Structure
95 DUFFERIN ST	60642758	Residential Character-Defining Structure
96 DUFFERIN ST	60056199	Residential Character-Defining Structure
102 DUFFERIN ST	60056207	Residential Character-Defining Structure
34 DUKE ST	60060886	Supporting Structure
35 DUKE ST	60060878	Residential Character-Defining Structure
59 DUKE ST	60059946	Residential Character-Defining Structure
60 DUKE ST	60059953	Residential Character-Defining Structure
62 DUKE ST	60059433	Residential Character-Defining Structure
65 DUKE ST	60644374	Residential Character-Defining Structure
77 DUKE ST	60059250	Residential Character-Defining Structure
81 DUKE ST	60599115	Residential Character-Defining Structure
82 DUKE ST	60058963	Residential Character-Defining Structure
86 DUKE ST	60058468	Residential Character-Defining Structure
93 DUKE ST	60059425	Residential Character-Defining Structure
96 DUKE ST	60058476	Supporting Structure
1 FALKLAND ST	60057957	Supporting Structure
10 FALKLAND ST	60055688	Residential Character-Defining Structure
15 FALKLAND ST	60055910	Residential Character-Defining Structure
18 FALKLAND ST	60712387	Residential Character-Defining Structure
21 FALKLAND ST	60055902	Residential Character-Defining Structure
26 FALKLAND ST	60055704	Residential Character-Defining Structure
26B FALKLAND ST	60055704	Supporting Structure
29 FALKLAND ST	60055829	Residential Character-Defining Structure
32 FALKLAND ST	60055712	Residential Character-Defining Structure

38 FALKLAND ST	60055720	Residential Character-Defining Structure
42 FALKLAND ST	60589751	Residential Character-Defining Structure
50 FALKLAND ST	60055746	Residential Character-Defining Structure
41 FOX ST	60059854	Residential Character-Defining Structure
46 FOX ST	60059870	Residential Character-Defining Structure
47 FOX ST	60059847	Residential Character-Defining Structure
51 FOX ST	60059839	Residential Character-Defining Structure
52 FOX ST	60059888	Supporting Structure
58 FOX ST	60059896	Supporting Structure
65 FOX ST	60059821	Ecclesiastic Character-Defining Structure
66 FOX ST	60059904	Residential Character-Defining Structure
69 FOX ST	60602463	Residential Character-Defining Structure
77 FOX ST	60602471	Residential Character-Defining Structure
78 FOX ST	60059938	Residential Character-Defining Structure
83 FOX ST	60059789	Residential Character-Defining Structure
101 FOX ST	60059771	Residential Character-Defining Structure
104 FOX ST	60059979	Residential Character-Defining Structure
105 FOX ST	60059763	Residential Character-Defining Structure
111 FOX ST	60059755	Residential Character-Defining Structure
114 FOX ST	60673357	Ecclesiastic Character-Defining Structure
121 FOX ST	60059748	Residential Character-Defining Structure
122 FOX ST	60673316	Residential Character-Defining Structure
126 FOX ST	60060027	Residential Character-Defining Structure
133 FOX ST	60059730	Residential Character-Defining Structure
137 FOX ST	60059722	Residential Character-Defining Structure
149 FOX ST	60059714	Residential Character-Defining Structure
151 FOX ST	60059706	Residential Character-Defining Structure
157 FOX ST	60059698	Residential Character-Defining Structure
159 FOX ST	60059680	Residential Character-Defining Structure
160 FOX ST	60060050	Residential Character-Defining Structure
165 FOX ST	60059672	Supporting Structure
167 FOX ST	60059656	Residential Character-Defining Structure
170 FOX ST	60060068	Supporting Structure
177 FOX ST	60059649	Residential Character-Defining Structure
178 FOX ST	60060076	Residential Character-Defining Structure
179 FOX ST	60059631	Residential Character-Defining Structure
186 FOX ST	60060100	Residential Character-Defining Structure
187 FOX ST	60059623	Supporting Structure
193 FOX ST	60059615	Residential Character-Defining Structure
196 FOX ST	60060118	Supporting Structure
197 FOX ST	60059607	Residential Character-Defining Structure

201 FOX ST	60059599	Residential Character-Defining Structure
204 FOX ST	60060126	Residential Character-Defining Structure
205 FOX ST	60059581	Residential Character-Defining Structure
206 FOX ST	60060134	Residential Character-Defining Structure
24 HOPSON ST	60061561	Residential Character-Defining Structure
25 HOPSON ST	60060977	Residential Character-Defining Structure
26 HOPSON ST	60060985	Residential Character-Defining Structure
35 HOPSON ST	60060969	Residential Character-Defining Structure
36 HOPSON ST	60060993	Residential Character-Defining Structure
40 HOPSON ST	60060548	Residential Character-Defining Structure
46 HOPSON ST	60060555	Residential Character-Defining Structure
51 HOPSON ST	60060084	Supporting Structure
58 HOPSON ST	60060092	Residential Character-Defining Structure
71 HOPSON ST	60059540	Residential Character-Defining Structure
87 HOPSON ST	60058609	Residential Character-Defining Structure
94 HOPSON ST	60056975	Residential Character-Defining Structure
95 HOPSON ST	60058591	Residential Character-Defining Structure
101 HOPSON ST	60057296	Supporting Structure
107 HOPSON ST	60057288	Supporting Structure
112 HOPSON ST	60057031	Supporting Structure
113 HOPSON ST	60057270	Supporting Structure
118 HOPSON ST	60057049	Supporting Structure
119 HOPSON ST	60057262	Supporting Structure
123 HOPSON ST	60057254	Supporting Structure
124 HOPSON ST	60057056	Supporting Structure
126 HOPSON ST	60057064	Supporting Structure
134 HOPSON ST	60057072	Supporting Structure
135 HOPSON ST	60057247	Supporting Structure
146 HOPSON ST	60057080	Supporting Structure
35 KAULBACH ST	60060795	Residential Character-Defining Structure
40 KAULBACH ST	60060456	Residential Character-Defining Structure
41 KAULBACH ST	60060449	Residential Character-Defining Structure
45 KAULBACH ST	60060431	Residential Character-Defining Structure
47 KAULBACH ST	60060423	Ecclesiastic Character-Defining Structure
49 KAULBACH ST	60060415	Residential Character-Defining Structure
52 KAULBACH ST	60059862	Residential Character-Defining Structure
72 KAULBACH ST	60059342	Residential Character-Defining Structure
101 KAULBACH ST	60058831	Civic Character-Defining Structure
2 KEMPT ST	60062700	Marine Character-Defining Structure
82 KEMPT ST	60056884	Supporting Structure
3 KING ST	60062890	Residential Character-Defining Structure

4 KING ST	60062841	Supporting Structure
6 KING ST	60062858	Residential Character-Defining Structure
8 KING ST	60062866	Locally Significant Structure
9 KING ST	60667441	Residential Character-Defining Structure
11 KING ST	60062874	Residential Character-Defining Structure
13 KING ST	60061488	Residential Character-Defining Structure
16 KING ST	60061496	Supporting Structure
28 KING ST	60060902	Residential Character-Defining Structure
36 KING ST	60060910	Supporting Structure
54 KING ST	60060019	Residential Character-Defining Structure
64 KING ST	60059474	Residential Character-Defining Structure
70 KING ST	60682614	Residential Character-Defining Structure
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74 KING ST	60059011	Residential Character-Defining Structure
82 KING ST	60059029	Residential Character-Defining Structure
94 KING ST	60058500	Residential Character-Defining Structure
3 KINLEY DR	60057718	Supporting Structure
15 KINLEY DR	60057692	Supporting Structure
20 KINLEY DR	60057676	Supporting Structure
21 KINLEY DR	60057684	Supporting Structure
42 KINLEY DR	60591997	Supporting Structure
5 KISSING BRIDGE RD	60058385	Supporting Structure
7 KISSING BRIDGE RD	60058377	Residential Character-Defining Structure
10 KISSING BRIDGE RD	60057742	Residential Character-Defining Structure
15 KISSING BRIDGE RD	60058369	Supporting Structure
18 KISSING BRIDGE RD	60057759	Residential Character-Defining Structure
24 KISSING BRIDGE RD	60057767	Supporting Structure
38 KISSING BRIDGE RD	60592003	Supporting Structure
48 KISSING BRIDGE RD	60669470	Supporting Structure
54 KISSING BRIDGE RD	60669462	Supporting Structure
39 LAWRENCE ST	60058823	Residential Character-Defining Structure
45 LAWRENCE ST	60058815	Residential Character-Defining Structure
50 LAWRENCE ST	60639523	Residential Character-Defining Structure
55 LAWRENCE ST	60713583	Residential Character-Defining Structure
58 LAWRENCE ST	60058849	Residential Character-Defining Structure
62 LAWRENCE ST	60058856	Residential Character-Defining Structure
65 LAWRENCE ST	60058799	Residential Character-Defining Structure
71 LAWRENCE ST	60058781	Supporting Structure
77 LAWRENCE ST	60058773	Residential Character-Defining Structure
78 LAWRENCE ST	60058906	Supporting Structure
81 LAWRENCE ST	60058765	Residential Character-Defining Structure

82 LAWRENCE ST	60058914	Residential Character-Defining Structure
86 LAWRENCE ST	60058922	Supporting Structure
87 LAWRENCE ST	60058757	Residential Character-Defining Structure
93 LAWRENCE ST	60058740	Residential Character-Defining Structure
105 LAWRENCE ST	60058724	Residential Character-Defining Structure
110 LAWRENCE ST	60058971	Residential Character-Defining Structure
111 LAWRENCE ST	60058716	Residential Character-Defining Structure
113 LAWRENCE ST	60058708	Residential Character-Defining Structure
117 LAWRENCE ST	60058690	Residential Character-Defining Structure
118 LAWRENCE ST	60058997	Residential Character-Defining Structure
119 LAWRENCE ST	60058682	Residential Character-Defining Structure
125 LAWRENCE ST	60058674	Residential Character-Defining Structure
129 LAWRENCE ST	60058666	Supporting Structure
134 LAWRENCE ST	60059037	Residential Character-Defining Structure
135 LAWRENCE ST	60058658	Supporting Structure
138 LAWRENCE ST	60059045	Supporting Structure
144 LAWRENCE ST	60059052	Residential Character-Defining Structure
148 LAWRENCE ST	60059060	Residential Character-Defining Structure
149 LAWRENCE ST	60058641	Residential Character-Defining Structure
154 LAWRENCE ST	60059086	Supporting Structure
159 LAWRENCE ST	60058625	Residential Character-Defining Structure
162 LAWRENCE ST	60675097	Supporting Structure
163 LAWRENCE ST	60058617	Supporting Structure
181 LAWRENCE ST	60056967	Residential Character-Defining Structure
188 LAWRENCE ST	60059094	Residential Character-Defining Structure
189 LAWRENCE ST	60056959	Residential Character-Defining Structure
195 LAWRENCE ST	60056942	Residential Character-Defining Structure
196 LAWRENCE ST	60059102	Supporting Structure
199 LAWRENCE ST	60056934	Residential Character-Defining Structure
201 LAWRENCE ST	60056926	Supporting Structure
204 LAWRENCE ST	60059110	Residential Character-Defining Structure
205 LAWRENCE ST	60056918	Residential Character-Defining Structure
206 LAWRENCE ST	60059128	Residential Character-Defining Structure
1 LINCOLN ST	60057890	Residential Character-Defining Structure
7 LINCOLN ST	60057890	Residential Character-Defining Structure
11 LINCOLN ST	60057882	Residential Character-Defining Structure
15 LINCOLN ST	60057874	Supporting Structure
26 LINCOLN ST	60057965	Supporting Structure
43 LINCOLN ST	60058302	Residential Character-Defining Structure
55 LINCOLN ST	60058294	Residential Character-Defining Structure
61 LINCOLN ST	60058286	Residential Character-Defining Structure

87 LINCOLN ST	60061975	Residential Character-Defining Structure
97 LINCOLN ST	60061983	Residential Character-Defining Structure
103 LINCOLN ST	60061991	Residential Character-Defining Structure
109 LINCOLN ST	60062007	Residential Character-Defining Structure
112 LINCOLN ST	60061280	Commercial Character-Defining Structure
126 LINCOLN ST	60061272	Supporting Structure
129 LINCOLN ST	60062023	Residential Character-Defining Structure
130 LINCOLN ST	60061298	Residential Character-Defining Structure
138 LINCOLN ST	60061306	Residential Character-Defining Structure
139-145 LINCOLN ST	60062031	Residential Character-Defining Structure
149-153 LINCOLN ST	60062049	Commercial Character-Defining Structure
152 LINCOLN ST	60061306	Commercial Character-Defining Structure
158 LINCOLN ST	60061314	Commercial Character-Defining Structure
159 LINCOLN ST	60062056	Commercial Character-Defining Structure
162 LINCOLN ST	60061322	Residential Character-Defining Structure
164-168 LINCOLN ST	60061330	Residential Character-Defining Structure
174-176 LINCOLN ST	60061355	Commercial Character-Defining Structure
180 LINCOLN ST	60061363	Commercial Character-Defining Structure
181-185 LINCOLN ST	60062080	Commercial Character-Defining Structure
187 LINCOLN ST	60062098	Locally Significant Structure
194B LINCOLN ST	60061371	Residential Character-Defining Structure
194C LINCOLN ST	60061371	Commercial Character-Defining Structure
194C LINCOLN ST	60061371	Residential Character-Defining Structure
200 LINCOLN ST	60061389	Supporting Structure
205 LINCOLN ST	60062114	Supporting Structure
214-218 LINCOLN ST	60061405	Commercial Character-Defining Structure
215 LINCOLN ST	60062122	Residential Character-Defining Structure
217 LINCOLN ST	60062122	Commercial Character-Defining Structure
222 LINCOLN ST	60061413	Residential Character-Defining Structure
228-232 LINCOLN ST	60061421	Commercial Character-Defining Structure
229 LINCOLN ST	60062130	Commercial Character-Defining Structure
234-236 LINCOLN ST	60061439	Commercial Character-Defining Structure
242 LINCOLN ST	60061447	Commercial Character-Defining Structure
247-255 LINCOLN ST	60062163	Commercial Character-Defining Structure
248 LINCOLN ST	60061454	Residential Character-Defining Structure
250 LINCOLN ST	60061454	Commercial Character-Defining Structure
254 LINCOLN ST	60061470	Commercial Character-Defining Structure
261-263 LINCOLN ST	60062171	Supporting Structure
290 LINCOLN ST	60061504	Civic Character-Defining Structure
296 LINCOLN ST	60061512	Supporting Structure
306 LINCOLN ST	60061520	Residential Character-Defining Structure

316 LINCOLN ST	60646197	Residential Character-Defining Structure
321 LINCOLN ST	60062197	Residential Character-Defining Structure
324 LINCOLN ST	60061546	Residential Character-Defining Structure
325 LINCOLN ST	60062205	Residential Character-Defining Structure
331 LINCOLN ST	60062213	Residential Character-Defining Structure
348 LINCOLN ST	60061579	Residential Character-Defining Structure
349 LINCOLN ST	60062221	Residential Character-Defining Structure
352 LINCOLN ST	60061587	Residential Character-Defining Structure
355 LINCOLN ST	60062239	Residential Character-Defining Structure
360 LINCOLN ST	60061595	Residential Character-Defining Structure
361 LINCOLN ST	60062247	Residential Character-Defining Structure
365 LINCOLN ST	60062254	Residential Character-Defining Structure
366 LINCOLN ST	60061603	Residential Character-Defining Structure
369 LINCOLN ST	60062338	Residential Character-Defining Structure
373 LINCOLN ST	60062320	Residential Character-Defining Structure
379 LINCOLN ST	60062312	Residential Character-Defining Structure
382 LINCOLN ST	60062346	Residential Character-Defining Structure
383 LINCOLN ST	60062304	Residential Character-Defining Structure
389 LINCOLN ST	60062296	Residential Character-Defining Structure
393 LINCOLN ST	60062288	Residential Character-Defining Structure
399 LINCOLN ST	60062270	Residential Character-Defining Structure
4 LINDEN AVE	60057973	Residential Character-Defining Structure
8 LINDEN AVE	60057981	Residential Character-Defining Structure
11 LINDEN AVE	60058260	Supporting Structure
12 LINDEN AVE	60057999	Residential Character-Defining Structure
12 LINDEN AVE	60058211	Residential Character-Defining Structure
18 LINDEN AVE	60058203	Residential Character-Defining Structure
19 LINDEN AVE	60058252	Residential Character-Defining Structure
20 LINDEN AVE	60058005	Supporting Structure
25 LINDEN AVE	60058245	Supporting Structure
26 LINDEN AVE	60058013	Supporting Structure
29 LINDEN AVE	60058237	Residential Character-Defining Structure
33 LINDEN AVE	60058229	Supporting Structure
34 LINDEN AVE	60058021	Residential Character-Defining Structure
1 LORNE ST	60055670	Residential Character-Defining Structure
6 LORNE ST	60055639	Residential Character-Defining Structure
41 LORNE ST	60055068	Residential Character-Defining Structure
46 LORNE ST	60055043	Residential Character-Defining Structure
1 MEDWAY ST	60058278	Residential Character-Defining Structure
25 MEDWAY ST	60055894	Residential Character-Defining Structure
36 MONTAGUE ST	60063021	Residential Character-Defining Structure

44 MONTAGUE ST	60063039	Residential Character-Defining Structure
45 MONTAGUE ST	60061892	Commercial Character-Defining Structure
50 MONTAGUE ST	60063047	Commercial Character-Defining Structure
53 MONTAGUE ST	60062973	Residential Character-Defining Structure
54 MONTAGUE ST	60063047	Residential Character-Defining Structure
55 MONTAGUE ST	60062965	Residential Character-Defining Structure
56 MONTAGUE ST	60063062	Residential Character-Defining Structure
62 MONTAGUE ST	60488608	Residential Character-Defining Structure
65 MONTAGUE ST	60062957	Residential Character-Defining Structure
66 MONTAGUE ST	60499365	Commercial Character-Defining Structure
73 MONTAGUE ST	60062940	Residential Character-Defining Structure
74 MONTAGUE ST	60063096	Residential Character-Defining Structure
80 MONTAGUE ST	60063104	Supporting Structure
82 MONTAGUE ST	60063112	Residential Character-Defining Structure
84-90 MONTAGUE ST	60499381	Commercial Character-Defining Structure
91 MONTAGUE ST	60062932	Residential Character-Defining Structure
94 MONTAGUE ST	60063146	Residential Character-Defining Structure
95 MONTAGUE ST	60062924	Residential Character-Defining Structure
96 MONTAGUE ST	60063153	Residential Character-Defining Structure
99 MONTAGUE ST	60062916	Residential Character-Defining Structure
100 MONTAGUE ST	60063161	Commercial Character-Defining Structure
101 MONTAGUE ST	60062908	Commercial Character-Defining Structure
108 MONTAGUE ST	60063179	Supporting Structure
108 MONTAGUE ST - B	60063179	Commercial Character-Defining Structure
110 MONTAGUE ST	60063187	Residential Character-Defining Structure
112-116 MONTAGUE ST	60063195	Commercial Character-Defining Structure
118-120 MONTAGUE ST	60063203	Residential Character-Defining Structure
125 MONTAGUE ST	60062833	Commercial Character-Defining Structure
124-126 MONTAGUE ST	60063211	Commercial Character-Defining Structure
128-130 MONTAGUE ST	60063229	Commercial Character-Defining Structure
132-138 MONTAGUE ST	60063252	Commercial Character-Defining Structure
188-192 MONTAGUE ST	60385911	Residential Character-Defining Structure
139 MONTAGUE ST	60062817	Commercial Character-Defining Structure
144 MONTAGUE ST	60063278	Commercial Character-Defining Structure
151 MONTAGUE ST	60062809	Commercial Character-Defining Structure
152 MONTAGUE ST	60063260	Residential Character-Defining Structure
161 MONTAGUE ST	60062791	Commercial Character-Defining Structure
169 MONTAGUE ST	60062775	Commercial Character-Defining Structure
170 MONTAGUE ST	60063294	Commercial Character-Defining Structure
175 MONTAGUE ST	60062767	Residential Character-Defining Structure
182 MONTAGUE ST	60385911	Marine Character-Defining Structure

194 MONTAGUE ST	60063302	Supporting Structure
200 MONTAGUE ST	60063351	Residential Character-Defining Structure
201 MONTAGUE ST	60062742	Supporting Structure
207 MONTAGUE ST	60062734	Residential Character-Defining Structure
208 MONTAGUE ST	60063369	Residential Character-Defining Structure
210 MONTAGUE ST	60063377	Residential Character-Defining Structure
213 MONTAGUE ST	60062726	Residential Character-Defining Structure
216 MONTAGUE ST	60063385	Residential Character-Defining Structure
219 MONTAGUE ST	60062718	Residential Character-Defining Structure
220 MONTAGUE ST	60063393	Residential Character-Defining Structure
229 MONTAGUE ST	60062692	Residential Character-Defining Structure
235 MONTAGUE ST	60062684	Residential Character-Defining Structure
240 MONTAGUE ST	60063427	Marine Character-Defining Structure
243 MONTAGUE ST	60636834	Residential Character-Defining Structure
250 MONTAGUE ST	60063427	Marine Character-Defining Structure
257 MONTAGUE ST	60062668	Residential Character-Defining Structure
265 MONTAGUE ST	60062650	Supporting Structure
268 MONTAGUE ST	60063435	Residential Character-Defining Structure
271 MONTAGUE ST	60062643	Residential Character-Defining Structure
272 MONTAGUE ST	60063443	Residential Character-Defining Structure
277 MONTAGUE ST	60062635	Residential Character-Defining Structure
280 MONTAGUE ST	60696663	Residential Character-Defining Structure
183 OXNER DR	60057221	Supporting Structure
191 OXNER DR	60057239	Supporting Structure
297 PELHAM ST	60063666	Residential Character-Defining Structure
8 PELHAM ST	60061934	Commercial Character-Defining Structure
10 PELHAM ST	60061926	Residential Character-Defining Structure
26 PELHAM ST	60061918	Residential Character-Defining Structure
28 PELHAM ST	60061900	Residential Character-Defining Structure
36 PELHAM ST	60701075	Residential Character-Defining Structure
41 PELHAM ST	60061264	Residential Character-Defining Structure
49 PELHAM ST	60432028	Commercial Character-Defining Structure
52 PELHAM ST	60061884	Residential Character-Defining Structure
54 PELHAM ST	60061876	Residential Character-Defining Structure
55 PELHAM ST	60061249	Residential Character-Defining Structure
56 PELHAM ST	60061868	Residential Character-Defining Structure
66 PELHAM ST	60061850	Residential Character-Defining Structure
71 PELHAM ST	60061223	Residential Character-Defining Structure
72 PELHAM ST	60061843	Residential Character-Defining Structure
75 PELHAM ST	60061215	Residential Character-Defining Structure
79 PELHAM ST	60061207	Residential Character-Defining Structure

80 PELHAM ST	60719697	Residential Character-Defining Structure
84 PELHAM ST	60061827	Locally Significant Structure
90 PELHAM ST	60061801	Commercial Character-Defining Structure
102 PELHAM ST	60061793	Residential Character-Defining Structure
103 PELHAM ST	60061173	Residential Character-Defining Structure
106 PELHAM ST	60061785	Commercial Character-Defining Structure
120 PELHAM ST	60061777	Civic Character-Defining Structure
125 PELHAM ST	60061165	Residential Character-Defining Structure
126 PELHAM ST	60061769	Residential Character-Defining Structure
128 PELHAM ST	60061751	Residential Character-Defining Structure
134 PELHAM ST	60061744	Residential Character-Defining Structure
137 PELHAM ST	60061140	Residential Character-Defining Structure
138 PELHAM ST	60061728	Residential Character-Defining Structure
139 PELHAM ST	60061132	Residential Character-Defining Structure
140 PELHAM ST	60061710	Commercial Character-Defining Structure
150 PELHAM ST	60061702	Commercial Character-Defining Structure
154 PELHAM ST	60061694	Residential Character-Defining Structure
155 PELHAM ST	60426624	Residential Character-Defining Structure
162 PELHAM ST	60061686	Residential Character-Defining Structure
163 PELHAM ST	60681319	Residential Character-Defining Structure
166 PELHAM ST	60061678	Residential Character-Defining Structure
168 PELHAM ST	60061660	Residential Character-Defining Structure
169 PELHAM ST	60061116	Residential Character-Defining Structure
172 PELHAM ST	60061652	Residential Character-Defining Structure
173 PELHAM ST	60061108	Residential Character-Defining Structure
175 PELHAM ST	60061090	Residential Character-Defining Structure
178 PELHAM ST	60061645	Residential Character-Defining Structure
179 PELHAM ST	60061082	Residential Character-Defining Structure
182-184 PELHAM ST	60061637	Residential Character-Defining Structure
185 PELHAM ST	60061074	Residential Character-Defining Structure
190 PELHAM ST	60061629	Residential Character-Defining Structure
191 PELHAM ST	60061066	Residential Character-Defining Structure
193 PELHAM ST	60061058	Residential Character-Defining Structure
194 PELHAM ST	60061611	Residential Character-Defining Structure
196 PELHAM ST	60062502	Residential Character-Defining Structure
197 PELHAM ST	60062494	Residential Character-Defining Structure
201 PELHAM ST	60062486	Residential Character-Defining Structure
202 PELHAM ST	60062510	Residential Character-Defining Structure
204 PELHAM ST	60062528	Residential Character-Defining Structure
205 PELHAM ST	60062478	Residential Character-Defining Structure
208 PELHAM ST	60062536	Residential Character-Defining Structure

214 PELHAM ST	60062544	Residential Character-Defining Structure
215 PELHAM ST	60062460	Residential Character-Defining Structure
223 PELHAM ST	60062445	Residential Character-Defining Structure
224 PELHAM ST	60062551	Residential Character-Defining Structure
226 PELHAM ST	60062569	Residential Character-Defining Structure
227 PELHAM ST	60062437	Residential Character-Defining Structure
230 PELHAM ST	60062577	Residential Character-Defining Structure
233 PELHAM ST	60062429	Residential Character-Defining Structure
234 PELHAM ST	60062585	Residential Character-Defining Structure
235 PELHAM ST	60062411	Residential Character-Defining Structure
238 PELHAM ST	60062593	Residential Character-Defining Structure
242 PELHAM ST	60062601	Residential Character-Defining Structure
243 PELHAM ST	60062403	Residential Character-Defining Structure
244 PELHAM ST	60062627	Residential Character-Defining Structure
267 PELHAM ST	60062387	Residential Character-Defining Structure
275 PELHAM ST	60063690	Residential Character-Defining Structure
279 PELHAM ST	60610029	Residential Character-Defining Structure
284 PELHAM ST	60063526	Residential Character-Defining Structure
289 PELHAM ST	60063674	Residential Character-Defining Structure
290 PELHAM ST	60063534	Residential Character-Defining Structure
297 PELHAM ST	60063666	Residential Character-Defining Structure
299 PELHAM ST	60063658	Residential Character-Defining Structure
300 PELHAM ST	60063542	Residential Character-Defining Structure
304 PELHAM ST	60063559	Residential Character-Defining Structure
305 PELHAM ST	60063641	Residential Character-Defining Structure
311 PELHAM ST	60063633	Residential Character-Defining Structure
312 PELHAM ST	60063567	Residential Character-Defining Structure
9 PRINCE ST	60061736	Residential Character-Defining Structure
40 PRINCE ST	60060498	Residential Character-Defining Structure
48 PRINCE ST	60060506	Residential Character-Defining Structure
58 PRINCE ST	60060043	Residential Character-Defining Structure
70 PRINCE ST	60059524	Residential Character-Defining Structure
71 PRINCE ST	60059516	Residential Character-Defining Structure
73 PRINCE ST	60059078	Residential Character-Defining Structure
86 PRINCE ST	60058559	Residential Character-Defining Structure
94 PRINCE ST	60058567	Supporting Structure
95 PRINCE ST	60058542	Residential Character-Defining Structure
109 PRINCE ST	60057155	Supporting Structure
119 PRINCE ST	60057148	Supporting Structure
124 PRINCE ST	60057163	Supporting Structure
125 PRINCE ST	60057130	Supporting Structure

132 PRINCE ST	60057171	Supporting Structure
135 PRINCE ST	60057122	Supporting Structure
136 PRINCE ST	60057189	Supporting Structure
143 PRINCE ST	60057114	Supporting Structure
146 PRINCE ST	60057197	Supporting Structure
151 PRINCE ST	60057106	Supporting Structure
154 PRINCE ST	60057205	Supporting Structure
159 PRINCE ST	60057098	Supporting Structure
160 PRINCE ST	60057213	Supporting Structure
10 SAWPIT RD	60063708	Residential Character-Defining Structure
8 STARR ST	60058336	Residential Character-Defining Structure
41 TOWNSEND ST	60060399	Residential Character-Defining Structure
43 TOWNSEND ST	60060381	Residential Character-Defining Structure
49 TOWNSEND ST	60060373	Residential Character-Defining Structure
55 TOWNSEND ST	60060365	Residential Character-Defining Structure
58 TOWNSEND ST	60060472	Residential Character-Defining Structure
69 TOWNSEND ST	60060357	Residential Character-Defining Structure
75 TOWNSEND ST	60060340	Residential Character-Defining Structure
81 TOWNSEND ST	60060332	Residential Character-Defining Structure
87 TOWNSEND ST	60060324	Residential Character-Defining Structure
93 TOWNSEND ST	60060316	Residential Character-Defining Structure
94 TOWNSEND ST	60060761	Ecclesiastic Character-Defining Structure
95 TOWNSEND ST	60060308	Residential Character-Defining Structure
101 TOWNSEND ST	60060290	Residential Character-Defining Structure
105 TOWNSEND ST	60060282	Residential Character-Defining Structure
111 TOWNSEND ST	60059987	Ecclesiastic Character-Defining Structure
129 TOWNSEND ST	60060274	Residential Character-Defining Structure
133 TOWNSEND ST	60060266	Residential Character-Defining Structure
135 TOWNSEND ST	60060258	Residential Character-Defining Structure
141 TOWNSEND ST	60060241	Residential Character-Defining Structure
145 TOWNSEND ST	60060233	Residential Character-Defining Structure
153 TOWNSEND ST	60060225	Residential Character-Defining Structure
161 TOWNSEND ST	60060217	Residential Character-Defining Structure
164 TOWNSEND ST	60060522	Residential Character-Defining Structure
167 TOWNSEND ST	60060209	Residential Character-Defining Structure
185 TOWNSEND ST	60060191	Residential Character-Defining Structure
190 TOWNSEND ST	60653193	Residential Character-Defining Structure
191 TOWNSEND ST	60060183	Residential Character-Defining Structure
203 TOWNSEND ST	60060175	Residential Character-Defining Structure
205 TOWNSEND ST	60060167	Residential Character-Defining Structure
6 VICTORIA RD	60055753	Residential Character-Defining Structure

43 YORK ST	60059334	Residential Character-Defining Structure
47 YORK ST	60059326	Supporting Structure
50 YORK ST	60674793	Residential Character-Defining Structure
53 YORK ST	60059318	Residential Character-Defining Structure
54 YORK ST	60674785	Residential Character-Defining Structure
57 YORK ST	60059300	Residential Character-Defining Structure
61 YORK ST	60059292	Residential Character-Defining Structure
74 YORK ST	60059375	Residential Character-Defining Structure
78 YORK ST	60059383	Residential Character-Defining Structure
82 YORK ST	60059391	Residential Character-Defining Structure
83 YORK ST	60059284	Residential Character-Defining Structure
85 YORK ST	60059276	Residential Character-Defining Structure
89 YORK ST	60646791	Residential Character-Defining Structure
96 YORK ST	60059441	Residential Character-Defining Structure
99 YORK ST	60058955	Residential Character-Defining Structure
105 YORK ST	60059243	Residential Character-Defining Structure
108 YORK ST	60633948	Residential Character-Defining Structure
114 YORK ST	60633955	Residential Character-Defining Structure
121 YORK ST	60059235	Ecclesiastic Character-Defining Structure
129 YORK ST	60059227	Residential Character-Defining Structure
133 YORK ST	60059219	Residential Character-Defining Structure
136 YORK ST	60059490	Supporting Structure
139 YORK ST	60059201	Supporting Structure
140 YORK ST	60059508	Residential Character-Defining Structure
143 YORK ST	60059193	Residential Character-Defining Structure
157 YORK ST	60059185	Residential Character-Defining Structure
165 YORK ST	60059177	Residential Character-Defining Structure
166 YORK ST	60643335	Residential Character-Defining Structure
171 YORK ST	60059169	Residential Character-Defining Structure
171 YORK ST	60059169	Residential Character-Defining Structure
177 YORK ST	60059151	Residential Character-Defining Structure
180 YORK ST	60059557	Residential Character-Defining Structure
194 YORK ST	60059565	Residential Character-Defining Structure
201 YORK ST	60059144	Residential Character-Defining Structure
205 YORK ST	60059136	Residential Character-Defining Structure
206 YORK ST	60059573	Residential Character-Defining Structure
12 YOUNG ST	60055837	Residential Character-Defining Structure
13 YOUNG ST	60055886	Residential Character-Defining Structure
17 YOUNG ST	60055878	Residential Character-Defining Structure
18 YOUNG ST	60055845	Residential Character-Defining Structure
22 YOUNG ST	60055852	Residential Character-Defining Structure

Appendix F: Individual Statements of Significance

80-82 Pelham Street

80-82 Pelham Street

Construction Date(s): 1753-1790

Alternate Name(s): Oldest House

Provincially Registered Property 2019

Description of Historic Place:

This home's structure suggests it was built by the Acadians and is known as the oldest house in Lunenburg. Built on a hillside, it has commanding harbour views and served as a Customs House in the late nineteenth century.

Heritage Value:

80-82 Pelham Street is of local and provincial significance and a contributing element to Old Town Lunenburg Heritage Conservation District.

- It is of local and provincial significance as a testament to Lunenburg's Acadian History.
Perhaps best described as a 'house-within-a-house,' 80-82 Pelham Street has an exterior built in 1790 and an interior structure with characteristics typical of early Acadian homes. Historical records confirm that this site was inhabited by Acadians in the 1600s.
- It is locally, provincially, and nationally significant as part of Lunenburg's vernacular architecture.
80-82 Pelham Street was purchased by Colonel John Anderson, a United Empire Loyalist from Pennsylvania, who expanded and renovated the property in the American New York Dutch style. Elements of this style include the Gambrel-roof, central chimney, wooden clapboard siding and large cornerboards. Built as a residence, the house served as a Customs House from 1865 to 1890 when it was owned by the Customs Officer for the Port. At this time, a separate entrance and large fixed window were added to the left bays on Pelham Street. The building then served as a post office from 1890 to 1941 when owned by Elda Dowling Romkey.

Character-Defining Elements:

Elements that evidence 80-82 Pelham Street's significance include its:

- Stone foundation;
- Wood-framed construction;
- Central brick chimney;
- Wood-clapboard cladding;
- One-and-one storey façade along Pelham Street with modified five-bay and central entrance with sidelights, along with two six-over-six windows in the right bay; and off-set double-doored entrance and fixed squared wood-window in the left bay;
- Two-and-one-half storey home along its south-facing façade;
- Gambrel roof with central bayed dormers on the north and south-facing facades, along with a pair of simple gable-roofed dormer windows on the south-facing façade; and

- Various windows within the building, typically with a six-over-six pattern.

Bandstand

0 Cumberland Street

Construction Date(s): 1987

Alternate Name(s): Heritage Bandstand

Description of Historic Place:

The Heritage Bandstand is a replica of the original 1889 bandstand built by the Lunenburg Heritage Society in 1987. It is located on the Cumberland Street side of Civic Square. The Bandstand's public functions contribute to the civic area's continuing civic and public functions and, thus, Lunenburg's continued social and economic functioning along Charles Morris' town plan.

Heritage Value:

The Bandstand is of local significance and a contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as a testament to Lunenburg's Heritage Movement.
The old bandstand was originally situated where the Town Hall now stands but was moved to its present location when Town Hall was built in 1891 to 1893. The Lunenburg Heritage Society led a detailed historical reconstruction based on the original bandstand design.
- It is locally and nationally significant as a testament to Lunenburg's community life.
The Bandstand is prominent within Old Town Lunenburg's civic square. Not only is it a local landmark, but it is also used throughout the year for public events and performances. These uses animate the Civic Square. The Bandstand is locally beloved.

Character-Defining Elements:

Elements that evidence Bandstand's significance include its:

- Public functions, for example, public concerts, gatherings, and ceremonies; and
- Aspects that replicate the 1889 design, including but not limited to its:
 - Octagonal form;
 - Wooden flooring;
 - Wooden railings;
 - Iron structure;
 - Iron decorative details, including scroll braces and finial; and
 - Octagonal dome.

Bank of Montreal

12 King Street

Construction Date(s): 1907

Alternate Name(s): N/A

Description of Historic Place:

The Bank of Montreal building is a purpose-built bank on the corner of King Street and Pelham Street in Old Town Lunenburg Heritage Conservation District. It is a rare granite classically inspired building within the district. Its recognition as a locally significant structure does not apply to the 1966 addition south of the original 1907 building.

Heritage Value:

The Bank of Montreal is of local significance.

- It is locally architecturally significant as a unique stone Neoclassical structure.
The Bank of Montreal is a local landmark built of grey Shelburne granite and one of the best examples of commercial Neoclassic architecture in Lunenburg. The bank has a cross-in-square design with a copper saucer dome elevated on a drum and a unique roof form over its entrance porch. Its ashlar masonry is complemented with classical detailing. The design makes the most of its corner location, with a principal entrance angled towards the corner of King Street and Pelham Street.

- It is locally significant as part of Lunenburg's economic history.
The building was constructed in 1907, testifying to Lunenburg's early twentieth-century economic prosperity. It is an early design by architects Frank Peden and Thomas McLaren, who worked together from 1907 to 1916. Their eponymous firm designed nineteen banks for the Bank of Montreal in every Canadian province except Alberta. The stature and solidity of the design, combined with its roughly finished masonry compared to the surrounding wooden structures, speak to the Bank of Montreal's stature and wealth as well as Lunenburg's.

Character-Defining Elements:

Elements that evidence the Bank of Montreal's significance include its:

- Overall form, especially its Byzantine cross-in-square design;
- Shelburne granite construction;
- Windows, including the placement and design of its round-headed, classically-inspired windows;
- Ashlar facing, with alternating wide and narrow courses;
- Neoclassical copper roofs, including its saucer dome, drum, gable roof and unique roof form over the original entrance;
- Neoclassical detailing, including but not limited to brackets, cornices, lintels, mouldings, pediments, oversized voussoirs, abstracted pilasters, and low-relief sculpture;
- Entrance, its placement and design; and
- Bronze plaques.

Baptist Church

47 Kaulback Street

Construction Date(s): 1884

Alternate Name(s): Sweeney's Funeral Home

Description of Historic Place:

Lunenburg's Baptist Church is a modest, heavily modified vernacular building. Standing on Kaulback Street next to Hillcrest Cemetery and Lunenburg Academy, Charles Sweeney purchased this building in 1928 and converted it into a funeral home. At the western edge of Charles Morris's original Town plan, this is the smallest of the six churches in Old Town Lunenburg Heritage Conservation District.

Heritage Value:

Baptist Church is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- Locally significant as a testament to religion's prominent role in Lunenburg's nineteenth-century public life.

This Baptist Church was built in 1884 on land conveyed to the Trustees of the Baptist Church in 1883 by Henry A. N. Kaulback. Its small size and location far from the institutional heart of Old Town Lunenburg speak to the relative power of Lunenburg's small Baptist congregation. Unlike its role in establishing Anglicanism in Nova Scotia, Old Town Lunenburg played a minor role in Baptist history. A Baptist "mother church" was built nearby in Northwest Range, now Fauxburg, from 1818 to 1820.

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

Substantially altered, the Baptist Church originally had a three-storey bell tower on its northeastern corner and long pointed windows and doors in a simplified gothic style. A moulded belt course ran across the eastern gable end or principal façade, serving as a cornice and creating a stylized pediment. The tower, belt course and a window to the south of the main entrance were all removed by 1896, resulting in a simpler meeting house style. It was remodelled again in 1905. Despite these changes, the Baptist Church retains a proportion and grace suggestive of its ecclesiastic use. Its remaining cornerboards and brackets resemble those at Northwest United Baptist Church in Fauxburg; the oldest documented Baptist house of worship in Nova Scotia.

Character-Defining Elements:

Elements that evidence Baptist Church's significance include its:

- Overall rectangular form and gable roof;
- Wooden elements, including its structure and cladding; and
- Decorative elements that predate the 1909 renovation, including its brackets, Greek revival cornerboards, raking cornice, and cornice with dentils.

Central United Church

136 Cumberland Street

Construction Date(s): 1883-1885

Alternate Name(s): Methodist Church

Municipally Registered Property 1997

Description of Historic Place:

Central United Church is a large, late-nineteenth century building on Cumberland Street, across from Civic Square. This is the second Methodist church built in Lunenburg. The first Methodist church was located on the other side of Civic Square at Prince and Townsend Streets. In 1882, the congregation elected to build a larger church on the present lot. The Methodist Church and the United Church of Canada amalgamated in 1925, and this building was renamed Central United Church.

Heritage Value:

Central United Church is of local significance and a contributing element to the Old Town Lunenburg Heritage Conservation District.

- Locally significant as a testament to religion's prominent role in Lunenburg's nineteenth and twentieth-century public life.
Lunenburg's concentration of churches, six within Old Town Lunenburg, confirm Christianity's importance in nineteenth and twentieth-century Lunenburg. The scale and location of Central United Church speak to the prominence of Methodism in Lunenburg's history. The size of the church testifies to the growing Methodist congregation Lunenburg in 1880s Lunenburg. It was called Nova Scotia's 'Cathedral of Methodism' in the keynote address of the provincial conference of the Methodist church held in Lunenburg in June 1885.
- It is locally significant as an excellent example of ecclesiastic architecture.
The congregation commissioned Dartmouth architect Edward Elliot to design Central United Church. Central United Church has a weightiness unlike any other church in Lunenburg. The youngest church in the district, its mass and mix of vertical and horizontal elements are unique. The entrance's immediacy to the street and the open interior are inviting, humanizing what might have otherwise been an overpowering structure.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
While it was architect-designed, Central United Church has numerous vernacular elements. In particular, the design encompasses Lunenburg's rich carpentry tradition, particularly notable inside the building.

Character-Defining Elements:

Elements that evidence Central United Church's significance include its:

- Impressive scale, including its height, width, compact massing, and large windows and doors, and, in particular, the principal façade's impressive height and width, measuring 17 by 34 metres;
- Overall asymmetrical composition and the composition of each façade;



- Bell tower, beginning with a square base and tapering to an octagon below the cap. Each of the eight faces is decorated with the same motif, and the tower has a bell-like cap roofed in copper. The tower's windows and entrance are aligned with and like those of the nave;
- Narrow, pointed spire rising beside a slender brick chimney;
- Smaller turret at the southern peak of the gable roof;
- Tall five-sided chancel, rising to meet the gable roof;
- Location at the street line with an entrance immediately on the street;
- Three large, pointed doors on the principal façade, the central door's slightly projecting cusped arch with the same decorative motif as the tower, creating a porch, and turned posts that flank the entrance;
- Understated wooden detailing, such as varying courses of wooden clapboard, simple corner boards, wooden window tracery, belt courses, and door and window mouldings;
- Interior, which has heavy beams, oak chancel and oak pews, all of which contribute to an overall sense of width and solidity while being inviting; and
- Windows, including the stained-glass memorial windows - four-paned, double-tiered windows centred on the front façade with single-paned double-tiered windows to either side and a round window above them; and a row of five symmetrically placed Gothic windows along either side of the nave.

C.N.R. Lunenburg Station

18 Dufferin Street

Construction Date(s): 1923

Alternate Name(s): Jaycee Station; New Train Station;

Canadian National Railway Station

Description of Historic Place:

C.N.R. Lunenburg Station is a picturesque one-and-a-half-storey wooden passenger station built by Canadian National Railway. It is located at the head of Lunenburg's back harbour trail off Lincoln Street. At its longest, the railway stretched the length of the back harbour trail to the C.N.R. station, then down Linden Avenue and along Bluenose Drive to Government Wharf. The C.N.R. Lunenburg Station is the best-preserved physical remains of Lunenburg's railway history.

Heritage Value:

C.N.R. Lunenburg Station is of local significance.

- It is locally significant as the best-preserved physical feature of Lunenburg's railway heritage.
Lunenburg has hosted many railways, including the Nictaux and Atlantic Railway (1873, heavily financed by Fletcher Wade of Bridgewater and local James D. Eisenhauer); the Nova Scotia Central Railway (1889); the Halifax and South Western Railway (1901); the Canadian Northern Railway (1906); and Canadian National Railways (C.N.R. 1918). Despite significant ballast, drainage, sleeper tie, rail, switch, and bridge upgrades under C.N.R., the line to Lunenburg had substantial curves because of Lunenburg and area's varied topography. Locals said the H, S and M of Halifax & South Western Railway line actually stood for "Hellish Slow & Wobbly." Passenger service ended on October 25, 1969. The C.N.R. station has a strong contextual relationship with traces of Lunenburg's railway system.
- It is locally significant as a well-conserved example of a Canadian National Railway station design.
This station was built by C.N.R. in 1923 to replace the Old Railway Station, which burned down c. 1920. The heritage character of the Canadian National Railway Station rests in its standard plan, its domestic scale and proportions, its detailing, and its architectural woodwork. The C.N.R.'s Tudor-Revival exterior is stylistically unique in Lunenburg, betraying its lack of local or vernacular influence.

Character-Defining Elements:

Elements that evidence C.N.R. Lunenburg Station's significance include its:

- Location on Lunenburg's Back Harbour Trail, which corresponds to the Halifax and South Western Railway railbed;
- Irregular rectangular footprint and human scale;
- Gable roof with slightly bell-cast roof, especially on its west face, with dormers;
- Western overhanging eave and porte-cochere on its southern side;
- Shallow projecting telegrapher's bay on its western elevation;
- Rhythmic placement of its apertures and brackets; and
- Tudor revival elements, especially its stucco and half-timbered exterior.

Knaut-Rhuland House

125 Pelham Street

Construction Date(s): 1793-1813

Alternate Name(s): N/A

National Historic Site of Canada 2002

Provincially Registered Property 1989

Municipally Registered Property 1983

Description of Historic Place:

The Knaut-Rhuland House is a turn of the nineteenth century two-and-a-half-storey formal, classical wood frame house on Pelham Street, between Prince and King Streets. The split staircase to the main entry gives this vernacular structure an air of grandeur. The building is named after its first two owners, merchant Benjamin Knaut and mariner Conrad Rhuland. The front of the house is built flush to the street and is situated close to its neighbours. Recognition extends to the building and surrounding property.

Heritage Value:

Knaut-Rhuland House is of local, provincial, and national significance and a contributing element to Old Town Lunenburg Heritage Conservation District because:


- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
Knaut-Rhuland House is one of the best-preserved examples of British classicism applied to a residence in Canada, illustrating the lineage of later prestigious homes of either Palladian or Neoclassical style that flourished across the country in the years that followed. This is evidenced by its precise, balanced, harmonious design and formal, classical decorative details. It's interior decoration and layout are also remarkably intact. It is one of the older houses in Old Town Lunenburg and an excellent example of the architecture of the Georgian period.
- It is locally significant due to its connections to Lunenburg's foreign Protestant settlers and local political history.
Knaut-Rhuland House was built by Benjamin Knaut, a merchant and sheriff of Lunenburg. He was the son of one of the most prominent foreign Protestants to settle Lunenburg in 1753, Philip Augustus Knaut. Philip Knaut was the first elected member from Lunenburg to the Nova Scotia Assembly of Representatives. Benjamin Knaut sold this house in 1813 to Conrad Rhuland, a mariner and privateer. Rhuland was the grandson of another of Lunenburg's original settlers. In 1823, Rhuland sold the house to John W. Creighton. As Member of the Assembly for Lunenburg County, Judge of Probate, President and Speaker of the Legislative Council, and a Member of the Executive Council (Cabinet), Creighton was an important provincial politician from 1830 until he died in 1867. The Knaut-Rhuland House remained in the Creighton family until 1906.

Dates of events vary between the 1983 municipal and 1989 provincial Statements of Significance found in the Canadian Register of Historic Places. This Statement of Significance uses the Provincially Registered Property record's dates.

Character-Defining Elements:

Elements that evidence Knaut-Rhuland House's significance include its:

- Location, including its proximity to the street, with the front door opening immediately onto the sidewalk, with the bit of land surrounding the building;

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- structural elements, including a thick stone foundation and post and beam frame built around two massive central chimneys;
 - Overall form, including simple, compact, rectangular massing, medium pitched roof and plank wall;
 - Overall composition, including balanced, symmetrical five-bay front façade with six-over-six sash windows and central doorway and its symmetrical interior layout;
 - Classical exterior decorative elements, including hand-blown cylinder glass in some windows, wide cornerboards, brackets and returned eaves, side and transom windows, elliptical fanlight around the central front door, and simple trim ornamentation;
 - Classical interior decorative elements, including early nineteenth-century latches and hinges, wooden mouldings and ceiling cornices, and fireplace surrounds; and
 - Elements characteristic of Lunenburg buildings of the late eighteenth century and early nineteenth century, including clapboard cladding, decorative endboards and finishing boards at the basement level.

Lennox Tavern

69 Fox Street

Construction Date(s): 1791

Alternate Name(s): N/A

Provincially Registered Property 1992

Municipally Registered Property 1995

Description of Historic Place:

Lennox Tavern is a two-storey wooden building in Georgian style located on the upper slope of Lunenburg's Old Town at the corner of Fox and Cornwallis Streets. Its municipal and provincial designations include the building and surrounding land.

Heritage Value:

Lennox Tavern is of local and provincial significance and a contributing element to Old Town Lunenburg Heritage Conservation District.

▪ It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

The Lennox Tavern is a well-maintained, relatively unaltered Georgian building representing Lunenburg's late eighteenth-century architecture. It is also the largest intact Georgian dwelling in the Old Town. Built in the early nineteenth century for innkeeper John Lennox, the Lennox Tavern is one of the oldest buildings in Lunenburg and the only late eighteenth-century tavern and inn in Nova Scotia. Ironically, it was used briefly in the late nineteenth century as a Temperance House. Built on a massive stone foundation, the post and beam plank wall structure is late Georgian style. It has a balanced façade, a medium-pitched gable roof, two large chimneys and simple Classical decoration, typical of Georgian homes.

Character-Defining Elements:

Elements that evidence Lennox Tavern's significance include its:

- Prominent location, orientation to the street and proximity to the street, with the front door opening immediately onto the street;
- Appearance of order and regularity created through its symmetrically and simple ornamentation;
- Two-and-a-half storeys;
- Wood clapboard cladding with quirk beads;
- Symmetrical five-bay façade;
- Original cornerboards with quirk beads similar to clapboard siding;
- Second-floor windows flush to eave;
- Six-over-six windows;
- Central doorway with transom window and plain pediment;
- Stone foundation;
- Endboards and finishing boards at the basement level;
- Medium-pitch gable roof with wooden shingles;
- Two large symmetrical chimneys;
- Fan light windows in the attic;
- Post and beam construction.
- Nine fireplaces with original or historic Georgian-style mantels;
- Cooking stove in basement, including beehive oven;
- Original cornices and chair rails; and
- Visible corner posts.

Lunenburg Academy

101 Kaulback Street

Construction Date(s): 1893-1895

Alternate Name(s): N/A

National Historic Site of Canada 1983

Provincially Registered Property 1984

Municipally Registered Property 1983

Description of Historic Place:

Lunenburg Academy is a large, three-storey, eclectic Second Empire Style purpose-built school. Perched on Gallows Hill and surrounded by open community space, the Academy is a local landmark. Referred to as the 'Castle on the Hill,' the Academy's imposing form and prominent towers can be seen for miles around, visible from many approaches to Lunenburg, including by sea. One of Old Town Lunenburg's most striking nineteenth-century wooden buildings, the Academy's formal heritage recognition encompasses the building and its lot.

Heritage Value:

The Lunenburg Academy is of local, provincial, and national significance.

- It is nationally, provincially and locally significant as a uniquely large Second Empire Style wooden building.
Designed by prominent New Brunswick architect Harry H. Mott and built by the Oxford Furniture Company, Lunenburg Academy is a unique, largescale wooden Second Empire Style building. Built between 1893 and 1895, the Academy is one of Canada's few large-scale wooden buildings still surviving from the nineteenth century. Its unique and picturesque design makes it an excellent representation of late Victorian eclectic architecture. Its scale and design are unique relative Old Town Lunenburg's other nineteenth-century wooden structures.
- It is nationally, provincially and locally significant as a rare survivor of Nova Scotia's nineteenth-century academy education system.
Lunenburg Academy illustrates a significant stage in the evolution of Nova Scotia's education system, which developed from one-room schoolhouses into the academy system. Lunenburg Academy's design, facilities, curriculum and educators reflected the town's commitment to high-quality education. The county academies were publicly funded and offered high-quality secondary education within the public school system.
- It is a local landmark.
Referred to as the "Castle on the Hill," Lunenburg Academy is a prominent feature in Lunenburg's skyline due to its scale, form, siting and contrasting colour scheme.

Character-Defining Elements:

Elements that evidence Lunenburg Academy's significance include its:

- Prominent hilltop location at the edge of Old Town Lunenburg Historic District National Historic Site of Canada;
- Expanses of public green space around the building and prominent location on Gallows Hill overlooking Lunenburg and the surrounding area;
- Large scale of the building, standing three storeys high with cubic massing and towers, enhanced by an absence of closely neighbouring buildings;



- Picturesque elements, including its mansard roof with segmental dormer windows, massive central chimney, and towers with pyramidal roofs;
- Variety of exterior textures and colours, including its white and black paint scheme with red roof;
- Lively elevations with their projecting and receding masses, defined by a twelve-bay façade with projecting frontispiece flanked by towers housing entrances and nine-bay side elevations with central projecting frontispieces;
- Lively, classically inspired ornamentation with pediments over openings, oval windows, and intricate brackets, and the horizontal emphasis of the moulded belt courses;
- Timber frame construction;
- All wooden elements, including wooden roof shingles, cladding, windows, doors, and trim, such as small oval portholes on the sides of each uppermost central window on the side elevations, intricate bracketry on all windows and under the eaves and decorative shingle work enriching the exterior;
- Surviving interior configurations and ornamental detailing, including the wooden wainscoting, stairs, banisters, panelled doors with transoms, and the original hardware, including knobs and hinges; and
- Remaining evidence of its use as a school, including the layout of classrooms and cloakrooms, interior water fountains and 1895 school bell.



Lunenburg Armouries

177 Cumberland Street

Construction Date(s): 1867

Alternate Name(s): The Armouries; Public Works

Description of Historic Place:

The Lunenburg Armouries is a relatively plain one-and-a-half-storey building with a dramatically pitched gable roof. Located close to the east-west and north-south street lines, it runs the entire length of Hopson Street between Cumberland and Townsend Streets.

Heritage Value:

Lunenburg Armouries is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as part of Lunenburg's military history.
The Armouries was built as a drill shed for Lunenburg's militia, who officially took over the building and named it the Lunenburg Armouries in 1902. Two companies of troops used the building as a headquarters and training centre before the militia reverted to the Reserve Army, and the 20th Field Squadron, Royal Canadian Engineers, took over the building.
- It is locally significant as part of Lunenburg's social history.
Because of its ample, unobstructed floor space, the Armouries was popular for meetings and social events in the late nineteenth and early twentieth century, hosting plays, performances, church bazaars, and the Lunenburg County Exhibition. Starting in 1880, it operated as a skating rink in the winter.
- It is locally significant as part of Lunenburg's political history.
Political rallies used the building as a focal point for speeches, and Sir Charles Tupper, Sir Wilfred Laurier and William Lyon Mackenzie King visited this building.
- It is locally and nationally significant as part of the best-preserved colonial settlement in North America.
Lunenburg Armouries's siting and continued public function evidence General Charles Morris's colonial plan. It is the last remaining public building on the easternmost of the four public blocks set aside for public use.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
The Lunenburg Armouries's frame was shipped to Lunenburg from Boston and raised starting May 3, 1867. Carpenters and volunteers donated their time to assemble the frame and finish the building. It testifies to Lunenburg's nineteenth-century community spirit and the competency of its builders.

Character-Defining Elements:

Elements that evidence Lunenburg Armouries's significance include its:

- Lack of setback, reinforcing Morris's Street grid;
- Location on the easternmost of Lunenburg's four civic blocks;
- Continuous public functioning according to Charles Morris's Town plan;



- Low-slung profile;
- Wooden frame and steep gable roof;
- Regular window spacing along its eastern façade;
- Vertical board and batten siding, unique outside Old Town Lunenburg’s waterfront;
- Original wooden windows; and
- Large, open interior space.

Lunenburg Fire Hall

40 Duke Street

Construction Date(s): 1928

Alternate Name(s): Old Fire Station

Description of Historic Place:

Lunenburg Town Hall is a prominent two-storey utilitarian red brick building centrally located in Old Town Lunenburg Heritage Conservation District. Its materiality is rare in Old Town Lunenburg. The Fire Hall is a crucial attribute that delimits Morris's four civic blocks from the rest of the district. Its public use is integral to the civic area's continuing civic and public functions and, thus, Lunenburg's continued social and economic functioning along Charles Morris' town plan. This designation applies to the 1928 building, not the 1950s extension.

Heritage Value:

The Fire Hall is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as part of Lunenburg's civic history.
The Town of Lunenburg's 1928 fire hall is a significant landmark in its history and a testament to its commitment to public safety. The interior of the building was designed to accommodate a modern fleet of fire trucks and equipment, as well as living quarters for the firefighters. Over the years, the fire hall was critical in protecting the town and its residents from fire emergencies. The fire department responded to numerous fires and other emergencies, including the devastating fire that swept through the town in 1948 and destroyed over 100 buildings. This was previously the site of the Town's 1889 Engine House, which also housed the Town's fire equipment.
- It is locally and nationally significant as part of the best-preserved colonial settlement in North America.
The decision to build the Fire Station on one of the civic blocks set aside in General Charles Morris's plan evidences the civic area's continuing civic and public functions. The Fire Hall's distinctiveness relative to the surrounding residential and local buildings contributes to the Civic Square's visual delineation from the rest of Old Town Lunenburg, reinforcing the district's colonial plan.
- Locally significant as a brick Art Deco building
The Fire Hall's brick construction and compact rectangular massing with flat roof are unique in a Town known internationally for its fanciful wooden vernacular buildings. The new fire hall was designed by local architect, W.C. Harris, and features a distinctive Art Deco style with a red-brick façade, flat roof, and symmetrical windows.

Character-Defining Elements:

Elements that evidence the Fire Hall's significance include its:

- Location in the institutional area as laid out in the town's original 1753 plan;
- Mass and height relative to neighbouring buildings;
- Building density relative to neighbouring blocks, the building surrounded by open and publicly accessible park space;
- Public use;



- Brick construction;
- Large garage doors; and
- Art Deco elements, such as
 - its horizontal, rectangular, geometric form;
 - its flat roof and stepped roofline on the principal façade;
 - its lack of ornament, including window trim, simple multi-paned windows, and wooden cornice; and
 - its principal façade's stepped composition with larger and more openings on the ground floor relative the windows on the upper floor above.



Lunenburg Opera House

290 Lincoln Street

Construction Date(s): 1908

Alternate Name(s): Capitol Theatre; Odd Fellows' Hall

Description of Historic Place:

The Lunenburg Opera House is a large, three-storey performing arts venue on Lincoln Street between King Street and Prince Street in Old Town. It is prominently located between Central United Church and Knaut-Rhuland House National Historic Sites.

Heritage Value:

The Lunenburg Opera House is of local significance and a character-defining element of Old Town Lunenburg Heritage Conservation District.

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
Constructed in 1908 by the Independent Order of Odd Fellows, old European Music Halls inspired the Lunenburg Opera House's design. The final building, however, incorporates shipbuilding techniques and is a testament to the ingenuity of the town's skilled shipbuilders and artisans. The Lunenburg Opera House has excellent acoustics due to careful planning and construction. The builders' attention to detail and use of unique architectural features have contributed to the building's remarkable acoustics and overall aesthetic appeal.
- It is locally and nationally significant as part of Lunenburg's cultural history.
The Lunenburg Opera House served as a multipurpose space, with the upper floor utilized as a meeting place for the Independent Order of Odd Fellows, highlighting its significance as a social and cultural hub in Lunenburg's history. The Lunenburg Opera House has been an arts and entertainment venue for over a hundred years. The first concert was held in 1909. The ground floor theatre was used as a Vaudeville concert hall until the 1940s when it became a cinema, the Capitol Theatre. Today, the Lunenburg Folk Harbour Festival owns and operates the building as a performing arts venue.

Character-Defining Elements:

Elements that evidence the Lunenburg Opera House's significance include its:

- Compact rectangular form and peaked roof;
- Symmetrical façade composition and division into three tiers using moulded belt courses ;
- Architectural detail, including its mouldings, centerboards, pilasters, window and door trim, and pediment with raking cornice, cornice, dentils, and window;
- Ground floor shopfront-type windows and doors; and
- Wooden sash windows on all façades.

Lunenburg Town Hall

119 Cumberland Street

Construction Date(s): 1891-1893

Alternate Name(s): Lunenburg Court House

Municipally Registered Property 1996

Description of Historic Place:

Lunenburg Town Hall is a prominent four-storey, Second Empire Style red brick building centrally located in Old Town Lunenburg Heritage Conservation District. Its height, mass, materiality, and the public park spaces to its east and west make it unique in the district. Town Hall is a crucial attribute that delimits Morris's four civic blocks from the rest of the district. Its public use is integral to the civic area's continuing civic and public functions and, thus, Lunenburg's continued social and economic functioning along Charles Morris' town plan.

Heritage Value:

Town Hall is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as part of Lunenburg's judicial and administrative history.
Town Hall was built as the town's administrative and judicial offices, evidencing Lunenburg's nineteenth-century strength and prosperity. In the early 1890s, there was considerable debate over whether Lunenburg or Bridgewater would be home to a new courthouse. The dispute continued even after both communities commenced the construction of their buildings. The disagreement was only resolved in 1893 with the "Act to Settle Difficulties That Have Arisen With Regard to the Courthouse in the County of Lunenburg."
- It is locally and nationally significant as part of the best-preserved colonial settlement in North America.
Town Hall evidences General Charles Morris's plan in its function, siting and design. The civic area's continuing civic and public functions include public use of Town Hall and the open spaces surrounding the building.
- It is nationally and locally significant as a brick Second Empire Building in Old Town Lunenburg.
Built in 1893 to plans by architect Henry Busch, Town Hall's exterior brick with granite embellishments is unique in a Town known internationally for its wooden vernacular structures. Town Hall's distinctiveness relative to the surrounding residential and local buildings contributes to the Civic Square's visual delineation from the rest of Old Town Lunenburg, reinforcing the district's colonial plan.

Character-Defining Elements:

Elements that evidence Town Hall's significance include its:

- Location in the institutional area as originally laid out in Old Town Lunenburg's 1753 town plan;
- Mass and height relative to neighbouring buildings;
- Building density relative to neighbouring blocks, the building surrounded by open and publicly accessible park space;
- Second Empire elements, such as the mansard roof, with projecting dormer windows and a curb at the roofline, tall round-headed windows, and on three of the four façades, central projecting pavilions with separate convex-sloping roofs, adding height;
- Brick exterior, accented with granite steps, coursing, foundation and keystones above the windows;



- Large central doorways formed by Tuscan pilasters that meet above the door in a semi-circular fanlight, with the words "Town Hall" and "Courthouse" over the Cumberland and Townsend Street entrances, respectively, reflecting the building's historic dual use;
- Significant original interior ornamental work, including entablatures and cornices over doorways, wooden stair rails, newel posts and bannisters, and wooden wainscotting; and
- Continuing civic and public functions of both the building and surrounding park space.



Masonic Lodge

120 Pelham Street

Construction Date(s): 1923

Alternate Name(s): Freemason Temple

Description of Historic Place:

The Masonic Lodge is a two-storey Greek Revival vernacular building in Old Town Lunenburg Historic District. It sports a prominent two-storey temple façade. It is located at 120 Pelham Street, across and down the street from Knaut-Rhuland House National Historic Site of Canada. Together, they speak to the evolution of classical vernacular architecture in Old Town Lunenburg.

Heritage Value:

The Masonic Lodge is of national and local significance.

- It is locally significant as a part of Lunenburg's social history.
This impressive building was built in 1923 by the Freemasons as a meeting hall and office building. The largest and oldest men's Fraternity in the world, freemasonry arrived in Canada via Nova Scotia in 1738. The scale and architectural grandeur of this building speak to the prominence of the Freemasons. The building continues to serve as a Masonic Lodge today.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
One of Lunenburg's preeminent wooden Classical buildings, the Masonic Lodge is architecturally unique. Lunenburg's preeminent vernacular interpretation of the Greek Revival Style is a late example of a relatively rare style in Nova Scotia. The Masonic Lodge has features unique from other classical revival buildings in the district. Particularly notable is its temple front with six two-storey ionic pilasters.

Character-Defining Elements:

Elements that evidence the Masonic Lodge's significance include its:

- Lack of setback, reinforcing Morris's Street grid;
- Overall compact form, especially its mass, height, and symmetrical plan;
- Principal façade design, including its placement of windows, doors and details, especially its symmetry;
- Temple front, including triangular pediment and two-storey ionic pilasters;
- Classical and Greek Revival elements, including but not limited to its entablature, lintel, frieze, cornice, mouldings, dentils, and segmental pediment over and wide trim around the principal entrance;
- Wooden elements, including its structure, cladding and decorative details; and
- Details that speak to its function as a masonic lodge. This includes the hexagram in a round window under the peak of the pediment of the temple façade.



Nova Scotia Telephone Co. Building

187 Lincoln Street

Construction Date(s): 1931

Alternate Name(s): Maritime Telegraph and Telephone

Company Building; Bell Building

Description of Historic Place:

Located at 187 Lincoln Street, this two-storey building was constructed by Nova Scotia Telephone Co. in 1931. While the construction materials used are rare in Old Town Lunenburg, the style and bulk of the building are not entirely out of character in the streetscape. This recognition applies to the footprint of the building. This recognition does not apply to the 1953 rear addition or the vacant land east of the building.

Heritage Value:

The Nova Scotia Telephone Co. Building is of local significance.

- It is locally significant as the best-preserved building testifying to Lunenburg's telecommunication history.

At the turn of the twentieth century, the Nova Scotia Telephone Company was the largest telephone provider in Nova Scotia, servicing approximately three times the Nova Scotians of any other company. A provincial Act of Incorporation established it on May 3, 1887. After acquiring Bell Telephone Company's Nova Scotian telephone and telegraph operations on November 28, 1887, the Nova Scotia Telephone Company continued to grow. In 1910, the Maritime Telegraph and Telephone Company (M.T.T.) consolidated all major telephone companies in Nova Scotia and was in service until 1998.

Character-Defining Elements:

Elements that evidence the Nova Scotia Telephone Co. Building's significance include its:

- Brick exterior with stone keystones, window sills and window headers;
- Compact rectangular form and massing, including its flat roof;
- Oversized foundation, much taller than most in Old Town Lunenburg;
- Four equally and regularly spaced, vertically oriented round-headed windows on the first floor;
- Four equally and regularly spaced vertically oriented rectangular windows on the second floor centred over the round-headed windows below; and
- Utilitarian character, in particular, its lack of decoration.



Royal Bank

84 Pelham Street

Construction Date(s): 1906

Alternate Name(s): N/A

Description of Historic Place:

The Royal Bank is a two-storey sandstone-faced building at the southeastern corner of the Pelham Street and Duke Street intersection in Old Town Lunenburg Heritage Conservation District. This recognition applies to the footprint of the building. It does not include the vacant land to the south of the building.

Heritage Value:

The Royal Bank is of local significance.

- It is locally architecturally significant as a unique stone Neoclassical structure.
The Royal Bank has a bold Neoclassical façade. The building's sense of solidity, created through, for example, its sandstone facing and wide roughly hewn corner pilasters, projects a strength becoming of a banking institution. It is a rare stone building in Lunenburg, and the engaged columns flanking the entrance are unique within Old Town Lunenburg Heritage Conservation District.
- It is locally significant as part of Lunenburg's economic history.
This property was sold by John Henry Wilson to the Royal Bank of Canada upon its amalgamation with Halifax's Merchant Bank to erect a new building. This grand edifice testifies to the power of the Royal Bank of Canada at the time, as well as Lunenburg's prosperity. Henry Wilson's son, Morris Wilson, started work in the Merchants Bank at fifteen years old and rose to become president of the Royal Bank of Canada from 1934 until he died in 1946.

Character-Defining Elements:

Elements that evidence the Bank of Royal Bank's significance include its:

- Compact rectangular massing and overall symmetrical composition;
- Sandstone cladding, including smooth and rough ashlar;
- Stone foundation that does not follow the grade of Duke Street, effectively ignoring Lunenburg's typography such that the 'temple' bank appears to sit on a plinth;
- Symmetrical temple façade, including corner two-storey pilasters, two-storey engaged columns and triangle pediment;
- Window and door openings and surrounding trim and ornament, including, but not limited to, the oversized fluted ornamental keystones above round-headed windows and the carved panels below; and
- Classical detailing, including but not limited to entablature, cornice, mouldings, columns, and pilasters.

Solomon House

69 Townsend Street

Construction Date(s): 1775-1797

Alternate Name(s): N/A

Provincially Registered Property 1996

Municipally Registered Property 1983

Description of Historic Place:

Built to the streetline, Solomon House is located on the corner of Townsend and Cornwallis Streets

Heritage Value:

Solomon House is of local and provincial significance and nationally significant as a contributing element to the Old Town Lunenburg Heritage Conservation District:

- It is locally significant for its associative value.
The house was built in the late eighteenth century for merchant and sawmill owner Henry Koch. The building passed to the Rudolph family and then in 1849 to George T. Solomon, a local judge and well-known figure in Nova Scotian legal circles.
- It is locally, provincially and nationally significant as part of Lunenburg's vernacular architecture tradition.
Solomon House is an excellent example of Georgian building techniques in Lunenburg, particularly the British Classical tradition. The building has a symmetrical appearance, giving it a sense of repose, orderliness, and prosperity. It is a large building located at the streetline, with a five-bay facade and a massive stone foundation.

Character-Defining Elements:

Elements that evidence Solomon House's significance include its:

- Structural elements in the Georgian tradition, including the massive stone foundation, the symmetrical appearance of the house, with five balanced bays, two central chimneys and a central door, the orientation of the interior rooms around a central staircase and central fireplaces, a medium pitched roof and post and beam with plank wall construction;
- Decorative elements of the Georgian tradition, including moulded eaves return, balanced, six-over-six windows, tight under the eaves, finishing board at basement level and wide, fluted cornerboards, side and transom windows around the central front door, and reed trim ornamentation; and
- Elements characteristic of Lunenburg buildings of the late eighteenth century and early nineteenth century, including clapboard cladding, with endboards and finishing boards at the basement level, and close proximity to the street, with the front door opening immediately onto the street, with little land surrounding the building.

St. Andrew's Presbyterian Church

111 Townsend Street

Construction Date(s): 1828

Alternate Name(s): N/A

Municipally Registered Property 1990

Description of Historic Place:

St. Andrew's Presbyterian Church is located on Townsend and King Streets, across from Lunenburg Town Hall in Old Town Lunenburg Heritage Conservation District. Built in 1828, it is a Carpenter Gothic church clad in clapboard with a prominent steeple. The south side of the nave is flush with the Townsend street line.

Heritage Value:

St. Andrew's Presbyterian Church is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District:

- It is locally significant as a testament to religion's prominent role in Lunenburg's nineteenth- and twentieth-century public life.

Lunenburg's concentration of churches, six within the Old Town Lunenburg Heritage Conservation District, testify to Christianity's importance in nineteenth and twentieth-century Lunenburg. St. Andrew's Presbyterian church is home to the oldest Presbyterian congregation in Canada. This congregation's status is manifested in the church's location adjacent to an area designated by the original 1753 town plan as the institutional core of the town, with the town hall, courthouse, and Anglican church.

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

Primarily built by local carpenters, St. Andrew's is an excellent example of Carpenter Gothic, a North American vernacular style that translated Gothic massing and detailing into wooden structures. Built in 1828, the original church was designed by Mr. Dechman, a master carpenter and member of St. Matthew's Presbyterian Church in Halifax and built by Mr. Grant. In 1879, the church was substantially renovated: the spire's height was increased to 118 feet, the church was lengthened to 83 feet, broadened to 40 feet, and a row of six Gothic windows fronting Townsend were added. In 1909, further renovations were carried out on the interior, and the chancel was added to the church's eastern end.

Character-Defining Elements:

Elements that evidence St. Andrew's Presbyterian Church's significance include its:

- Siting, with the south side of the nave flush with the Townsend street line;
- Elements relating to the prominence of the church and congregation in Lunenburg, including its central location adjacent to the institutional area of Old Town Lunenburg Heritage Conservation District as originally laid out in Old Town Lunenburg's 1753 plans.
- Gothic elements, including its:
 - Tall central tower with small, paired gablets on each side;
 - Pointed arch doors and windows;
 - Hooded ornamentation on the doors and windows;
 - Large three-paned central window with tracery on the tower;
 - Steep fully hipped bell cast gable roof with an end gable over the three-sided chancel; and
 - Stained glass.

St. Andrew's Presbyterian Church Hall

114 Fox Street

Construction Date(s): 1879

Alternate Name(s): N/A

Description of Historic Place:

This Neo-Gothic Church Hall is a former schoolhouse built before 1879 and moved to its current location in 1909. It was also enlarged at this time, with two new bays added to the east end of the building.

Heritage Value:


St. Andrew's Presbyterian Church Hall is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District:

- It is locally significant as a testament to Lunenburg's educational history.
Formerly a schoolhouse, St. Andrew's Presbyterian Church Hall speaks to Lunenburg's early education history. Until the mid-nineteenth century, education in Lunenburg was provided by church schools and private schools like St. Andrew's Presbyterian Church Hall. On October 25, 1864, Lunenburgers met and unanimously agreed to build a public school. Together with the Lunenburg Academy, St. Andrew's Presbyterian Church Hall provides an architectural example of the evolution of education in nineteenth-century Nova Scotia from small, private schoolhouses to the Academy system.
- It is locally significant as a testament to religion's prominent role in Lunenburg's twentieth-century public life.
St. Andrew's Presbyterian Church Hall testifies to the strength of Lunenburg's Presbyterian congregation at the beginning of the twentieth century. Formerly located east of St. Andrew's Presbyterian Church, this former school was moved to Fox Street in 1909. The building accommodated the church's growing congregation, serving as a church hall and Sunday School, and allowed for a chancel to be added to the east end of St. Andrew's Presbyterian Church. St. Andrew's is home to the oldest Presbyterian congregation in Canada.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
St. Andrew's Presbyterian Church Hall is an excellent example of Carpenter Gothic, an important North American vernacular style that translated Gothic massing and detailing into wooden structures. The hall's overall composition has remained intact since at least 1879, expanding from three bays to five bays in 1909. Presumably, the main Gothic entryway was also added at this time. The hall shares many architectural features with St. Andrew's Presbyterian Church, with its striking hooded ornamentation visible in Bollinger's 1890 map of Old Town Lunenburg Heritage Conservation District.

Character-Defining Elements:

Elements that evidence St. Andrew's Presbyterian Church Hall's significance include its:

- Siting, with the south side of the nave flush with the Townsend street line;
- Elements relating to the prominence of the church and congregation in Lunenburg, including its proximity to St. Andrew's Presbyterian Church and the civic blocks;
- Gothic elements, including its:

- 
- Steep gable roof;
 - Pointed Gothic arched windows with tracery;
 - Pointed Gothic arched principal entry;
 - Round window in the hall's west gable end;
 - Hooded ornamentation on the main door and windows; and
 - stained glass; and
 - Carpentry elements, including all wooden windows, doors, trim, detail, structure, and cladding, including the frieze and cornices with dentils and gothic tracery.

St. John's Anglican Church

2 Cumberland Street

Construction Date(s): 1754-1763

Alternate Name(s): N/A

National Historic Site of Canada 1994

Provincially Registered Property 1983

Municipally Registered Property 1983

Description of Historic Place:

St. John's Anglican Church National Historic Site of Canada is a large, white wooden Carpenter Gothic church in the heart of Old Town Lunenburg Heritage Conservation District. An important symbol of Lunenburg, it has continually evolved over approximately two hundred and fifty years. It was originally constructed from 1754 to 1763, shortly after Lunenburg's settlement. It was enlarged in 1840, again through the 1870s, and again in 1889. After a disastrous fire in 2001, the structure was rebuilt from the surviving ruins. Official recognition refers to the church and its surrounding green space, particularly its western public square.

Heritage Value:

St. John's Anglican Church is of local, provincial, and national significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally and nationally significant due to its establishment of the Church of England and British authority in eighteenth-century Nova Scotia following Morris's original Town plan.
Construction of St. John's Anglican Church began in 1754, making it the second oldest Anglican Church in Canada after St. Paul's Church in Halifax. As such, it played a significant role in establishing the Church of England in Nova Scotia. As a British colonial settlement, St. John's Anglican got a choice location within the civic blocks set aside by Charles Morris in his Town Plan. As the establishment of Britain's sacred authority in its new colonial settlement, St. John's Anglican significantly contributes to Lunenburg being the best-preserved colonial settlement in North America, as does the church's continued community use.
- It is a locally, provincially, and nationally significant example of Carpenter Gothic.
Carpenter Gothic is the translation of Gothic massing and detailing into wood, primarily by local carpenters, and thus is a valuable North American vernacular tradition. Throughout its history, much of the work on St. John's Anglican Church was done by local shipbuilders, a reflection of Lunenburg's close tie to the sea. Originally St. John's Anglican's congregation was mainly German and French-speaking "Foreign Protestants" who founded the town. The early form of the church closely resembled a New England meeting house with a round conical tower, like German churches. Gothic elements started to be added in 1840, including a tower. The frame was sent from Boston where it was part of King's Chapel. During Nova Scotia's lucrative 'Age of Sail,' St. John's Anglican was enlarged and took on additional Gothic elements under the direction of Halifax architects Sterling and Dewar. The church was again enlarged in 1892, with local master carpenter Solomon Morash as the chief contractor. It was expanded again c. 1915.
- It is locally significant, a symbol of Lunenburg's resilience and history.
In 2001, St. John's Anglican suffered a devastating fire. Over 50% of the church's historic fabric was lost. Following a four-year restoration, the church was returned to its pre-fire appearance. Wherever possible, the remaining historic fabric was integrated with new materials. The emotional effect of the fire and the church's subsequent restoration testify to its importance to the local community. St. John's Anglican's style, location, long history, and continued community use have made it a local landmark.



Character-Defining Elements:

Key elements contributing to the heritage character of St. John's Anglican Church include its:

- Location in the centre of Old Town Lunenburg Heritage Conservation District on one of the four town blocks set aside by Morris for public structures and functions;
- Proximity to St. John's Parish Hall and Rectory;
- Open landscaping with lawns, paths, benches and a memorial to the first outdoor religious service held on-site;
- Landmark status, including its scale, compared to the restrained scale of surrounding buildings;
- Foundations and ground floor traces of various construction phases; and
- Carpenter Gothic massing, including its basilica plan with side aisles and chancel under a steep gable roof, and its twin and central towers.

Exterior character-defining elements of St. John's Anglican Church relate to all pre-2001 and restored elements, including its:

- Principal façade composition with a rose window and twin towers;
- Carpenter Gothic detailing, including pinnacles, turrets, buttresses, pointed arches, doors, windows, drip mouldings and shingle cladding;
- White and black colour scheme;
- Exterior sign "St. John's Anglican Church of Canada welcomes You;" and
- Copper roof.

Interior character-defining elements of St. John's Anglican Church relate to all pre-2001 and restored elements and include its:

- Plaster walls;
- Ornamental painting, including the hand-painted east wall of the chancel, stars on the chancel ceiling, banners over arches, between the nave and chancel, and over the nave entrance, faux marble finish on columns, and gold leaf on columns in the nave and chancel;
- Hammer-beam roof supports with curved principals and collar beams;
- Historic wall plaques;
- Pews, book racks and kneelers;
- Wooden floorboards;
- Two historic stained glass windows, including the "Fishers of Men" window, and thirteen windows that were restored using pieces of original stained glass;
- 1926 oak altar;
- Concrete baptismal font;
- Pulpit;
- 1902 bronze bells;
- Support columns covered by faux marble encasement; and
- Crypt containing remains of twenty-two parishioners.

St. John's Parish Hall

65 Cumberland Street

Construction Date(s): 1775

Alternate Name(s): Old Lunenburg Court House

Municipally Registered Property 1989

Description of Historic Place:

St. John's Parish Hall is located across the street to the west of St. John's Anglican Church's public square and to the east of St. John's Rectory in Old Town Lunenburg Heritage Conservation District. Built in 1775, it is a one-and-a-half-storey wooden building with symmetrically placed lancet windows on all sides and a low-pitched, hipped roof.

Heritage Value:

St. John's Parish Hall is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as part of Lunenburg's judicial history and locally and nationally significant as a testament to Lunenburg's early colonial settlement.

As the town's original courthouse, this building was central to establishing peace and order in the new British colonial settlement. It was used as a courthouse for more than 100 years until a new courthouse was constructed one block to the east. The Royal Coat of Arms inside, dating to 1801, is one of the oldest of its kind in the province. The building visually borders the western edge of St. John's Anglican church's square, delineating the boundary of Charles Morris's original four public blocks per his 1753 Town Plan and foregrounds the authority of the British monarch in eighteenth-century Lunenburg.
- It is locally significant as a testament to religion's prominent role in Lunenburg's nineteenth and twentieth-century public life.

Old Town Lunenburg Heritage Conservation District's concentration of religious buildings testifies to Christianity's importance in nineteenth and twentieth-century Lunenburg. St. John's Parish Hall speaks to the prominence of Anglicanism in Lunenburg's history. The building was bought in 1902 by St. John's Parish. The newly acquired hall was extensively renovated, removing the dormers, and relocating the principal entrance. Southern and western wings were added in 1906 and 1964, respectively.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

Built in 1775, Parish Hall is a relatively rare example of eighteenth-century vernacular architecture compared to the predominantly nineteenth-century vernacular building stock. Locally constructed and renovated without the guidance of a trained architect, the longevity of this structure speaks to Lunenburg's high-quality carpentry.


Character-Defining Elements:

Elements that evidence St. John's Parish Hall's significance include its:

- Location, including its siting at the street line and proximity to St. John's Anglican Church and Rectory;
- Simple form, reminiscent of its Georgian roots;



- Wooden construction and detailing, including its clapboard siding, wooden fluted corner boards and windows, doors and trim;
- Southern wing;
- Gothic details, including its hooded lancet windows and wide entrance doors with centre-pointed transom windows; and
- interior features, especially the mural of the Royal Coat of Arms of King George III, dating to the building's use as a courthouse.



St. John's Rectory

59 Townsend Street

Construction Date(s): 1810-1816

Alternate Name(s): St. John's Anglican Church Rectory

Municipally Registered Property 1989

Description of Historic Place:

Located immediately on the sidewalk beside St. John's Parish Hall, the St. John's Rectory is a two-storey wooden structure built between 1810 and 1816. It is Georgian in design, with some ornamentation and additions from the 1880s.

Heritage Value:

St. John's Rectory is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as a testament to religion's prominent role in Lunenburg's nineteenth-century public life.

Lunenburg's concentration of religious buildings testifies to Christianity's importance in nineteenth and twentieth-century Lunenburg. St. John's Rectory speaks to the prominence of Anglicanism in Lunenburg's history. St. John's Rectory is valued for its long association with St. John's Anglican Church and its rectors.

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

The Rectory is a typical early nineteenth-century home with some Victorian-era additions. Despite these changes, the building retains its underlying Georgian character.

Character-Defining Elements:

Elements that evidence St. John's Rectory's significance include its:

- Proximity to St. John's Anglican Church and Parish Hall and siting at the street line;
- Georgian vernacular design elements, such as the overall symmetrical façade compositions, wooden cladding with wooden fluted corner boards, two symmetrically placed large chimneys, and classical trim around the central doorway on the main façade; and
- Victorian vernacular design elements, including doors, bracketry, lintel, ornamentation and prominent window hoods, and the ell on the western end of the building.

St. Norbert's Roman Catholic Church

121 York Street

Construction Date(s): 1839

Alternate Name(s): N/A

Municipally Registered Property 1999

Description of Historic Place:

St. Norbert's Roman Catholic Church is an L-shaped Georgian wooden church. It is situated on the corner of York and King Streets in Old Town Lunenburg, a Heritage Conservation District. The steeple is particularly noteworthy. Designation extends to the building and its property, including a small cemetery adjacent to the church. It does not apply to the 1982 addition.

Heritage Value:

St. Norbert's Roman Catholic Church is of local significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally significant as a testament to religion's prominent role in Lunenburg's nineteenth- and twentieth-century public life.

Lunenburg's concentration of churches, six within the Old Town Lunenburg Heritage Conservation District, testify to Christianity's importance in nineteenth and twentieth-century Lunenburg. St. Norbert's speaks to the changing fortunes of Roman Catholicism in Lunenburg. Built in 1839, St. Norbert's is the centre of the Roman Catholic community in Lunenburg. In the 1890s, the dwindling number of parishioners caused St. Norbert's to close its doors for forty years. However, in the 1930s, an influx of Catholic fishermen from Newfoundland arrived in Lunenburg, and the church was reopened. Its simplicity and small scale relative to Lunenburg's other churches speak to the congregation's smaller size and lesser social and economic influence in nineteenth and twentieth-century Lunenburg.

- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.

St. Norbert's is an eclectic vernacular interpretation of British and New England Victorian styles with Lunenburg's carpentry tradition. Sometime after 1890, the original tower was shortened to today's form, a unique witch's hat shape with decorative modillions surrounding the lower edge.

Character-Defining Elements:

Elements that evidence St. Norbert's Roman Catholic Church's significance include its:

- Location at the street line with an entrance immediately on the street;
- Green space, including the only intact cemetery on church property in Lunenburg;
- Scale and mass of the building, including its roofline, tower, and symmetrically placed buttresses, and its modest size and height relative to Lunenburg's other historic churches;
- Unique steeple in a witch's hat shape with ornamental modillions;
- Wooden shingle exterior;
- All wooden elements and ornamentation, including lancet windows, round-headed louvred windows, brackets, mouldings and trim; and
- Relatively simple and unadorned interior.

Zion Evangelical Lutheran Church

65 Fox Street

Construction Date(s): 1890-1891

Alternate Name(s): Zion Lutheran Church

Provincially Registered Property 1996

Municipally Registered Property 1990

Description of Historic Place:

Zion Evangelical Lutheran Church is a large wooden church on a stone and concrete foundation in Old Town Lunenburg Heritage Conservation District. It has a tall steeple at its Fox Street corner, a second tower at its southwest corner, and green space on the western side of the building. The York Street façade has an addition at its western end. The designation includes the building and surrounding property.

Heritage Value:

Zion Evangelical Lutheran Church is of local and provincial significance and a critical contributing element to the Old Town Lunenburg Heritage Conservation District.

- It is locally and provincially significant as a testament to the history of Lutheranism in Canada.
Described as the 'Rock of Lutheranism,' the Zion Evangelical Lutheran Church is valued as the home of Canada's oldest Lutheran congregation. When German Lutheran settlers first arrived in 1753, the settlers held services in the open air and later at St. John's Anglican Church. The first church on this site was built in 1772. The first church was replaced with a Gothic building in 1841, followed by the present church, built from 1890 to 1891. The current church's commanding scale and vertical composition speak to the fundamental importance of the Lutheran congregation in Lunenburg from its settlement to the present day.
- It is locally and nationally significant as part of Lunenburg's vernacular architecture tradition.
Zion Evangelical Lutheran Church was designed by prominent Halifax architect David Busch and built by George W. Beohner & Sons. This grand edifice is an architectural landmark in Old Town Lunenburg, with a steeple that can be seen for kilometres, including from the harbour. Two asymmetrical towers flank the principal façade, each with a different design. The dentil courses and stained-glass windows are among the most noticeable elements of the long nave, which runs the length of the eastern block line. An ornately decorated gable end faces Fox Street. The large hall to the rear of the church, known as Artemus Hall, was added in 1946.

Character-Defining Elements:

Elements that evidence Zion Evangelical Lutheran Church's significance include its:

- Continued service to the Lutheran community;
- Visual prominence and vertical composition, including its scale and height, steep gable roof, spire and towers;
- Varied façade compositions, including its asymmetrical principal façade;
- Proximity to the street line and surrounding homes, which suggests a close-knit relationship with the community;
- Western pyramidal tower with circular and lancet windows, finial and louvred gablet;
- Eastern tower with a tall spire, Saint Antoine-Marie bell, small louvred gablets on each side, and lancet windows on each storey and main entrance.
- Different window styles throughout the building, including round windows, pointed gothic windows in various combinations such as paired, triplicate or groups of four; a unique triangular attic window with curved edges in the gable end; and pointed transom windows over the entrances;



- Stained glass windows;
- Strongly defined entranceways, one elevated from the street in the eastern tower, the other at ground level in the western tower, including double-hung doors and pointed arch transom windows;
- Wooden trim, clapboard cladding and decoration, including dentil courses at each storey and moulded belt courses;
- The exterior of Artemus Hall, located at the northern end of the church;
- The key to the building and the Saint Antoine-Marie bell as the only remains of the first Lutheran church; and
- Interior wooden elements, wainscotting, mouldings and trim, the roof's structure and decoration, and the screen separating the nave from Artemus Hall.



Appendix G: Maintenance and Repair

Regular maintenance is an essential aspect of the sustainability and longevity of historic structures. Wood is especially vulnerable to fire, moisture, ultraviolet radiation and insect and rodent infestation. Protecting against these threats through regular maintenance is crucial to conserving residential character-defining structures. The following should guide maintenance activities, which do not require a certificate of appropriateness.

The following guidelines pertain to the maintenance and repair of residential character-defining structures:

- Maintenance and repair should take a minimal intervention approach.
- Regular monitoring and inspections should be carried out to determine the required types and frequency of maintenance proactively.

Maintenance and repair should include the following:

- Cleaning only as necessary to remove heavy soiling or graffiti. The cleaning method should be as gentle as possible to obtain satisfactory results. Cleaning tests should be carried out, especially when trying a new technique.
- Treating active insect or rodent infestations by implementing an extermination program specific to that insect or rodent
- Using recognized conservation methods following proper surface preparation, applying and maintaining suitable coatings and treatments that protect elements from moisture, ultraviolet light, and wear, such as paints, stains, varnishes, and preservatives.
- Stabilizing deteriorated elements by structural reinforcement, weather protection, or correcting unsafe conditions, as required, until repair work can be undertaken.
- Determining and addressing causes of deterioration, damage or distress through investigation, monitoring and minimally invasive or non-destructive testing techniques
- Repairing parts of exterior walls by patching, piercing-in, consolidating, or otherwise reinforcing using recognized conservation methods. Repairs should match the existing work as closely as possible, physically and visually.
- Repairing an exterior wall assembly, including its functional and decorative elements such as windows, doors, and trim. Such repairs might include dismantling, repairing, and reassembling select deteriorated elements. Repairs should match the existing work as closely as possible, physically and visually.
- Repairing parts of entrances, porches, or balconies by patching, piercing-in, consolidating, or reinforcing using recognized conservation methods. Such repairs might include dismantling, repairing, and reassembling select deteriorated elements. Repairs should match the existing work as closely as possible, physically and visually.
- Making windows, doors and storefronts weather tight and energy efficient by re-puttying and replacing or installing weatherstripping, adjusting hardware, and sealing openings and joints
- Using the gentlest means possible to remove paint or varnish when it is too deteriorated to recoat or so thickly applied that it obscures architectural details.
- Creating conditions unfavourable to fungus growth, such as eliminating entry points for water, opening vents to allow drying out, removing piled earth resting against wood elements and removing plants that hinder air circulation.



Appendix H: Old Town Lunenburg Heritage Conservation District Statement of Significance

Description

Old Town Lunenburg Heritage Conservation District is located on Nova Scotia's South Shore in the Town of Lunenburg in Mi'kma'ki, traditional unceded Mi'kmaq territory. It includes approximately 44.1 hectares bounded by Kaulback Street, Kissing Bridge Road, Kempt Street, and Lunenburg Harbour's Waterfront. It also consists of a 47.5-hectare transition area, stretching West along Lincoln Street, South along Falkland Street, and East along Blockhouse Hill Road, Lincoln Street, Pelham Street, and Montague Street. The district comprises the Town's original urban core and approximately 550 civic, commercial, and residential buildings, in addition to engineering works, monuments, parks, and public spaces. Founded in 1753 to plans by Surveyor General Charles Morris, Old Town Lunenburg retains its original grid plan and continues to function following Morris's layout. A rich vernacular architectural tradition profoundly shaped by Lunenburgers' connections to the sea, especially the offshore fishery, complements Morris' vision, filling in the Town's regular blocks. Today, Lunenburg's vernacular architectural tradition continues, and the Town maintains close cultural and economic ties to the Atlantic through a combination of new and historic marine-related activities.

Heritage Value

Old Town Lunenburg is recognized as a Municipal Heritage Conservation District because it is:

- The best-preserved example of a planned colonial settlement in North America;
- Home to a well-preserved continuing vernacular architectural tradition; and
- An exceptional example of a culture based on, and an urban community designed for, marine activities.

Character-Defining Elements

Elements that evidence British colonial planning, in particular surveyor General Charles Morris's design, include:

- The geometrically regular gridiron plan comprising seven north-south streets, 48 feet wide (except for King Street, which is 80 feet wide), intersected at right angles by nine east-west streets, each 40 feet wide;
- The lack of encroachment into the streets mentioned above, providing unobstructed north-south and east-west sightlines;
- The minimal setbacks of structures from the street visually reinforcing the street plan's regularity and rectilinearity;
- Old Town's topography, especially its steep streets that evidence Morris's commitment to using a rectilinear grid plan regardless of the Town's sloping site;
- The distinction between urban and non-urban areas;
- The grandeur of King Street, including its width relative to other North-South streets (50% increase in width) and its location relative to public space, marking the middle of the four public lots set aside for public functions in Morris' original plan;
- Archaeological remains of Old Town Lunenburg's original fortifications;
- Unobstructed views over Old Town Lunenburg Heritage Conservation District and out towards Lunenburg Harbour from the location of the Town's four original blockhouses;

- Physical attributes that delimit the four blocks that Morris set aside for public use, including:
 - The siting of the four blocks in the centre of Old Town, marking their importance;
 - The exclusion of non-civic buildings and functions from these four blocks;
 - The lower density of buildings on these four blocks relative to the surrounding contiguous and near-contiguous residential and commercial structures;
 - The public landscaped grounds between public buildings;
 - The scale of public and civic buildings, approximately four and a half storeys in height (approximately 16 metres), signaling their importance relative to surrounding commercial and residential buildings of approximately one and a half to three storeys in height (approximately 5 meters to 11 meters);
 - The intactness of these four blocks compared to the other blocks in the district, which were initially divided into 40-foot by 60-foot lots. The lots in blocks outside the four civic blocks have continued to evolve to meet the needs of property owners;
 - Landmark public buildings, including St. John's Parish Hall, St. John's Anglican Church, Lunenburg Town Hall, and the Armouries; and
 - Physical elements at the centre of public activities, such as memorials; and
- Its continued social and economic functioning along Charles Morris' original Plan, in particular:
 - The civic area's continuing civic and public functions, which includes public use of structures and the open spaces between and surrounding structures.

Elements that evidence and support Lunenburg's continuing vernacular architectural tradition include:

- Adaptations of imported styles, especially those fashionable in settlers' home countries, such as, but not limited to Georgian, Classical, Gothic, Second-Empire, and Dutch Colonial - Throughout Lunenburg's history, styles and architectural conventions have been adapted to the local environment and culture. This includes any evidence of accommodating local terrain, using local materials, changing decorative schema to reflect local values, and adapting trends to better suit the local climate;
- Wooden construction and decoration, reserving stone and brick for select public and civic buildings, including wooden windows, trim, and clapboard and shingle cladding;
- Architectural elements unique to Lunenburg, especially the 'Lunenburg Bump' in all its iterations;
- Refined carpentry skills, especially those derived from marine-related industries such as vessel construction; and
- Individual vernacular structures, including but not limited to vernacular
 - Marine buildings and engineering works;
 - Public, Civic or Institutional buildings;
 - Commercial buildings;
 - Residential buildings;
 - Ecclesiastic buildings; and
 - Outbuildings.

Elements that evidence Lunenburg's historical and continued cultural and economic relationship with the Atlantic, especially the offshore fisheries, include:

- Old Town Lunenburg Heritage Conservation District's location on Lunenburg Harbour;
- The working waterfront's continual use in support of the fisheries, shipbuilding and retrofitting, and other marine-industrial activities;



- Waterfront warehouses and other buildings that reflect Lunenburg's history of economic dependence on the shipbuilding and fishing industries, especially Marine vernacular buildings;
- The interrelationship between buildings, spaces, structures, and the harbour, illustrating the functional nature of the waterfront associated with marine, shipbuilding and fishery activities;
- The Fishermen's Memorial and Fishermen's Memorial Ceremony; and
- Clear sightlines down North-South streets that visually connect the commercial-residential and civic areas to Lunenburg Harbour.



Appendix I: Definitions

Accessory Building: A separate building located on the same lot as the main building or principal use, and of a nature customarily and clearly subordinate and incidental to the main building or main use of land.

Authenticity: The truthfulness, credibility or historical and cultural veracity between heritage values and character-defining elements. The ability of a property to convey its heritage value truthfully, credibly, or genuinely. UNESCO has deemed Old Town Lunenburg authentic in its location and setting, forms and designs, materials, and substances, and uses and functions.

Baseline: The area above grade and below storefront windows on historic commercial buildings.

Certificate of Appropriateness: The permit by which the Heritage Officer certifies that a proposed development conforms with the requirements of the Old Town Lunenburg Heritage Conservation District Plan and By-law.

Character-Defining Element: Note that character-defining elements can exist at different scales. For example, a historic building may be considered a character-defining property and have its own subset of character-defining elements, such as a unique style or decorative program.

Character-Defining Structure: Character-defining structures are those that exemplify Lunenburg's vernacular architectural tradition or otherwise significantly contribute to the heritage value of the Old Town Lunenburg Heritage Conservation District.

Close Inspection: Analysis by a trained eye at different distances. The by-law includes three distances: within touching distance, from across the street, and from the nearest intersection.

Compatible: Ability to blend harmoniously with the surrounding area's existing character-defining elements and heritage value. Achieving compatibility involves considering architectural style, scale, material, design details, and overall visual and symbolic impact.

Complete Application: An application which the Heritage Officer has acknowledged as complete pursuant to subsection 19G(3) of the *Heritage Property Act* and Section 10.2 of this By-law.

Conservation: The overarching term for protecting historic places in Canada is Conservation. It includes all actions or processes that are aimed at safeguarding the character-defining elements of a historic place to retain its heritage value and extend its physical life. This includes preservation, rehabilitation, restoration, or a combination of these actions or processes.

Cultural Landscape: any geographical area that has been modified, influenced, or given special cultural meaning by people, and that has been formally recognized for its heritage value.

Distinguishable: Ability to discern contemporary interventions from historic fabric.

District Residents: Anyone who lives or works within the boundaries of Old Town Lunenburg Heritage Conservation District. This deliberately encompasses more than property owners.



Frontispiece: Decorated bays combined of elements such as extended dormers, enclosed porches, porticos, projecting bays, or towers, give the Old Town of Lunenburg a unique visual character. Except in rare exceptions, they are located on the front façade and generally highlight the main entrance. Opening types in the frontispiece might differ from the rest of the façade and decorative elements might be more affluent on the frontispiece to accentuate its presence.

Heritage Advisory Committee: The Committee, appointed by Council, to serve as the Town of Lunenburg’s Heritage Advisory Committee under the Nova Scotian *Heritage Property Act*.

Heritage Character Area: An area within Old Town Lunenburg Heritage Conservation District recognized for its distinct heritage attributes and/or contribution to the district as a whole. There are five heritage character areas in Old Town Lunenburg Heritage Conservation District: Civic Heritage Character Area, Commercial Heritage Character Area, Residential Heritage Character Area, Waterfront Heritage Character Area, and the Transition Area.

Heritage Designation: The umbrella term for any recognition of heritage value under any law or charter to which the Town of Lunenburg is subject. This includes but is not limited to municipal heritage property designations, provincial heritage property designations, national historic designations, and inscription on lists like the World Heritage List.

Heritage Officer: The person or persons delegated by Council to act as Heritage Officer for the Town of Lunenburg per the Nova Scotian *Heritage Property Act*.

Heritage Value: The aesthetic, historic, scientific, cultural, social, or spiritual importance or significance for past, present, and/or future generations. The heritage value of an historic place is embodied in its character-defining materials, forms, location, spatial configurations, uses and cultural associations or meanings.

Independent Technical Advisor: A qualified and experienced professional who provides impartial and expert guidance on matters related to heritage conservation. An independent technical advisor has specialized knowledge and insights drawn from disciplines such as but not limited to architecture, archaeology, engineering, materials science, history, and conservation ethics.

Integrity: The wholeness and intactness of the district and its character-defining elements. Integrity requires conserving all character-defining elements that express the district’s heritage values, ensuring the district geographically and legislatively encompasses all features and processes that contribute to its heritage value and do not suffer from adverse effects of development and neglect. The Integrity of Old Town Lunenburg Heritage Conservation District’s outstanding universal value includes: its character-defining elements as expressed in the district’s statement of significance, its boundary that encompasses all character-defining elements, its transition area that provides a protective buffer around Old Town Lunenburg Heritage Conservation District, and its responsible management that protects it against unduly suffering from insensitive development or neglect.

Irreversible Structural Damage: Structural damage that cannot be reversed except at prohibitive expense.



Locally Significant Structures: Structures with a high level of local heritage significance regardless of their alignment with the heritage value of Old Town Lunenburg Heritage Conservation District as a whole and are thus afforded heritage protection under the Plan and By-law.

Lot: Any parcel of land described in a deed or as shown on a registered plan of subdivision.

Lot Line: A boundary line of a lot.

Lunenburg Bump: An extended, overhanging five-sided dormer, a local derivation of the five-sided Scottish dormer.

Main Building: The building designed for the principal use on the lot.

Municipal Heritage Property: A building, public-building interior, streetscape, cultural landscape, or area registered in a municipal registry of heritage property.

Neo-Vernacular: Contemporary interpretations of vernacular architecture. This includes sensitively combining contemporary technology and building techniques with local materials, styles, ornament, and traditional construction methods (see also Vernacular Architecture).

Old Town Lunenburg Heritage Conservation District: The area regulated under the Old Town Lunenburg Heritage Conservation District Conservation Plan and Bylaw as demarcated on Map 1 Old Town Lunenburg Heritage Conservation District Boundary.

Old Town Lunenburg Heritage Conservation District Statement of Significance: The statement, as recognized by the Town of Lunenburg, that describes Old Town Lunenburg Heritage Conservation District, identifies its heritage values, and lists its character-defining elements. The Statement of Significance applies to the area designated as a Heritage Conservation District under the *Heritage Property Act*.

Outbuilding: See Accessory Building.

Outstanding Universal Value (OUV): Cultural significance, as recognized by UNESCO's World Heritage Committee, which is so exceptional as to transcend national boundaries and to be of common importance to present and future generations of all humanity.

Preservation: The action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place, or an individual component while protecting its heritage value. Preservation includes maintenance.

Principal Façade: Principal building elevation, usually facing the street and includes a main entrance.

Principal Roof: Most prominent roof on a building, normally with the tallest peak and greatest area.

Provincial Heritage Property: A building, public-building interior, streetscape, cultural landscape or area registered in the Provincial Registry of Heritage Property.



Public Realm: Any street, sidewalk, laneway, park, privately owned, publicly accessible open space, or other public space.

Rehabilitation: The action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component while protecting its heritage value. Includes retrofit for new uses, aka adaptive re-use.

Replace In-Kind: The action or process of replacing a deteriorated element of a historic place to the exact same specifications, protecting its heritage value.

Restoration: The action or process of accurately revealing, recovering, or representing the state of a historic place or of an individual component as it appeared at a particular period in its history while protecting its heritage value. The action or process of returning a historic place to its state at a specific moment in time.

Sensitive Infill: A strategy through which additional growth can be accommodated without changing the community appearance of the streetscape's built environment by accommodating compatible new structures on existing vacant lots or those created through subdivision. Sensitive infill shall meet the Design Guidelines under the Old Town Lunenburg Heritage Conservation District By-law.

Setback: The horizontal distance between the specified lot line and the nearest main wall of any building or structure and extending the full width or length of the lot.

Statement of Significance: A concise statement of the heritage value of a historic place. In Canada, this includes a brief description of the historic place, a statement of heritage values, and a list of character-defining elements. *See also Statement of Outstanding Universal Value and Old Town Lunenburg Heritage Conservation District Statement of Significance.*

Statement of Outstanding Universal Value: A concise statement of the Outstanding Universal Value of a historic place, as recognized, approved and/or prepared by UNESCO's World Heritage Committee and/or World Heritage Centre.

Street: The whole and entire right-of-way of every highway, road, or road allowance vested in the Province of Nova Scotia or the Town, but does not include a controlled-access highway.

Street Line: The dividing line between a lot and a street.

Style (Architectural): Architecture of a specific period distinguishable by shared form, shape, or ornament, including specific types of doors, windows, and roofs.

Subdivision: The division of any area of land into two or more parcels, and includes a resubdivision or a consolidation of two or more parcels. Subdivision shall comply with the Town of Lunenburg Subdivision By-law.

Supporting Structure: New or extant buildings or properties whose history does not merit conservation, yet whose sensitive management contributes to the district's authenticity.



Vernacular Architecture: Architecture made locally by inhabitants; made using local materials and traditional construction methods and ornament; specific to a region or location (see also Neo-vernacular Architecture).

Widow's Walk: A railed platform atop a roof, typically on a coastal house, that was used to look out for returning ships.

Attachment B – Old Town Lunenburg Historic District National Historic Site of Canada Statement of Significance

Old Town Lunenburg Historic District National Historic Site of Canada

Bluenose Drive, Lunenburg Harbour, Lunenburg, Nova Scotia, Canada

Formally Recognized: 1991/06/10



General view



Panorama



General view

OTHER NAME(S)

Old Town Lunenburg Historic District National Historic Site of Canada

Old Town Lunenburg Historic District

Arrondissement historique du Vieux Lunenburg

LINKS AND DOCUMENTS

[Website for the Old Town Lunenburg Historic District](#)

[Section on the Parks Canada website specifically for this National Historic Site](#)

[Link to Old Town Lunenburg site on the UNESCO World Heritage Web Site](#)

CONSTRUCTION DATE(S)

1753/01/01 to 1991/01/01

LISTED ON THE CANADIAN REGISTER: 2007/10/03

STATEMENT OF SIGNIFICANCE

DESCRIPTION OF HISTORIC PLACE

The Old Town Lunenburg Historic District covers the core area of the town of Lunenburg, a well-preserved example of 18th-century colonization and settlement patterns with numerous outstanding examples of vernacular architecture spanning more than 240 years. It occupies the side of a hill and a narrow area along a natural harbour and includes the town's original parade square, as well as a waterfront area that is associated with the fishing and shipbuilding industries. The formal recognition consists of contributing buildings and lands contained within the boundaries of the original town plan of 1753. Old Town Lunenburg has also been designated a World Heritage Site.

HERITAGE VALUE

The Old Town Lunenburg Historic District was designated a national historic site in 1991 by virtue of its gridiron layout, one of the earliest and most intact British model plans in Canada, its strong historical associations especially with the Atlantic fisheries, and the richness and homogeneity of its architecture.

The heritage value of the Old Town Lunenburg Historic District resides in the original plan, the built forms and open spaces within the plan, the physical and cultural manifestations of the off-shore fishing and shipbuilding industries and the harmonious integration of the town and the seascape. Laid out by Charles Morris at the time of his landing on June 8, 1753, Lunenburg's Old Town Plan was the second British >model plan= created in present-day Canada, a gridiron plan type which had a direct and important relationship to British imperial settlement policy.

Sources: Historic Sites and Monuments Board of Canada, Minutes, 1991; World Heritage List Nomination (Appendix 3: Character Statement).

CHARACTER-DEFINING ELEMENTS

The character-defining elements that relate to the townsite as a whole are:

- its gridiron, "model town" plan, as evidenced in its geometrically regular streets and blocks, its allocation of public spaces, and its distinction between urban and non-urban areas;

- its small lots;
- the densely built nature of the townsite;
- its comprehensive collection of 18th to 20th-century buildings and works, including residences, churches, institutional buildings, shops and wharves;
- the continuing tradition of painting buildings in bright colours;
- the unity and cohesiveness created by the predominance of wood construction and exterior finishes among all building types and styles;
- the general orientation of the town and its major institutional buildings towards the harbour;
- the larger-scaled waterfront buildings, including wooden warehouses, lofts, boatshops, and industrial buildings, many with their gable end turned to the harbour, most of a large scale, and all painted in bright colours;
- its skyline punctuated by the spires of its churches;
- the heritage characters of St. John Anglican Church and the Knaut-Rhuland House National Historic Site of Canada.

The character-defining elements that relate to 18th-century construction are:

- a number of houses of "coulisse" construction, now clad in clapboard or shingles;
- single-storey Cape Cod dwellings;
- two-storey houses constructed in the British classical tradition;
- the former Court House;
- pre-fire surviving elements of St. John's Anglican Church.

The character-defining elements that relate to 19th-century construction are:

- the larger and more elaborate buildings that continued earlier building traditions;
- traditional Cape Cod and British classical residences;
- modifications to 18th and early 19th-century houses;
- Second Empire-style residences of families associated with the fishing and shipbuilding industries;
- the frequent use of the Lunenburg "bump" dormer in all its variations;
- pre-fire surviving elements of St. John's Anglican Church;
- St. Andrew's Presbyterian Church and the Lunenburg Lutheran Church, buildings associated with the oldest continuing worshipping Presbyterian and Lutheran congregations in Canada.

The character-defining elements that relate to 20th-century construction are:

- its 20th-century housing stock, including simple post-World War II bungalows, "Four-Square" houses, and Dutch Colonial Revival-style houses, that continue earlier wood construction traditions on a modest scale;
- sympathetically scaled commercial buildings located along Lincoln Street that help create a cohesive streetscape.

The character-defining elements associated with the history of the shipbuilding and fishing industries in Canada are:

- waterfront shipyards, including those still used for shipbuilding and retrofitting;
- buildings and facilities associated with the work and community life of people who worked in the fishing industry, including the Adams & Knickle waterfront complex and the Smith and Rhuland shipyard.

RECOGNITION

JURISDICTION

Federal

RECOGNITION AUTHORITY

Government of Canada

RECOGNITION STATUTE

Historic Sites and Monuments Act

RECOGNITION TYPE

National Historic Site of Canada

RECOGNITION DATE

1991/06/10

Attachment C – Old Town Lunenburg World Heritage Site Statement of Outstanding Universal Value

Outstanding Universal Value

Brief synthesis

Old Town Lunenburg is the best surviving example of a planned British colonial settlement in North America. Established in 1753, it has retained its original layout and overall appearance, based on a rectangular grid pattern drawn up in the home country. The inhabitants have safeguarded the town's identity throughout the centuries by preserving the wooden architecture of the houses and public buildings, some of which date from the 18th century and constitute an excellent example of a sustained vernacular architectural tradition. Its economic basis has traditionally been the offshore Atlantic fishery, the future of which is highly questionable at the present time.

Criterion (iv): Old Town Lunenburg is a well-preserved example of 18th century British colonial urban planning, which has undergone no significant changes since its foundation, and which largely continues to fulfil the economic and social purposes for which it was designed. Of special importance is its diversified and well-preserved vernacular architectural tradition, which spans over 250 years.

Criterion (v): Old Town Lunenburg is an excellent example of an urban community and culture designed for and based on the offshore Atlantic fishery which is undergoing irreversible change and is evolving in a form that cannot yet be fully defined.

Integrity

Within the boundaries of the 33.85 ha property are located all the elements necessary to express the Outstanding Universal Value of Old Town Lunenburg. The property encompasses the intact original town plan in its entirety, missing only the fortifications that surrounded the town in its early years, but of which there are no surviving above-ground remains. Its boundaries adequately ensure the complete representation of the features and processes that convey the property's significance, and there is a 32.44 ha buffer zone. The property does not suffer unduly from adverse effects of development and/or neglect.

Authenticity

Old Town Lunenburg is authentic in location and setting, forms and designs, materials and substances, and uses and functions. The original British colonial town plan remains evident, including the regular layout of property parcels in a grid pattern with geometrically regular streets, central public spaces, and key community structures, with a functioning waterfront as its focus. In terms of forms and materials, there is a harmony of scale, siting and materials (predominantly wood) throughout the property, and a regional architectural

vocabulary that includes the ‘Lunenburg bump’, an indigenous five-sided dormer. While a continuing vernacular architectural tradition is integral to the property’s Outstanding Universal Value, there has been very limited infill in the modern era. Many of the property’s historic uses and functions survive.

Most of the recent changes to the property are renovations to specific buildings, some of which have better conveyed the heritage value of Old Town Lunenburg than others. Due to long-term economic circumstances, there are also ongoing pressures on property owners in terms of rising property values, maintenance costs, and the challenges of retaining historical accuracy in restoration planning.

Protection and management requirements

Old Town Lunenburg, which is almost entirely in private ownership, is commemorated by the Government of Canada as a National Historic Site (1991) and protected under two key pieces of provincial legislation, the *Municipal Government Act* (1998) and the *Heritage Property Act* (1989), which enable the municipality to create, respectively, land-use and heritage bylaws. In this context, the municipality adopted the *Heritage Conservation District Plan, Bylaw and Guidelines* in 2000 (consolidated in 2001). In order to better manage the community as a World Heritage property and ensure the continuing protection of the town’s heritage resources, the Town of Lunenburg Heritage Sustainability Strategy (2010) has been developed to guide its development, including the identification of heritage, culture and tourism prospects that may produce economic opportunities for the community.

Sustaining the Outstanding Universal Value of the property over time will require managing, to the degree possible, ongoing pressures on property owners related to rising property values, maintenance costs, and the challenges of retaining historical accuracy in restoration planning. It will also require developing and implementing mechanisms to encourage building renovations that fully respect the heritage value of Old Town Lunenburg. Special attention will be given over the long term to monitoring and taking appropriate actions related to a number of factors in and near the property. Specifically, these include the potential impacts of climate change, and the impacts of tourism and visitation.

**Attachment D - Town of Lunenburg
Procedural Policy
Heritage Conservation District Public Participation Program**

As approved by Council on August 9, 2023

TOWN OF LUNENBURG PROCEDURAL POLICY

HERITAGE CONSERVATION DISTRICT PUBLIC PARTICIPATION PROGRAM

Council hereby adopts the following Heritage Conservation District Public Participation Program pursuant to Section 6 of the Heritage Conservation District Regulations made under Section 26 of the Heritage Property Act (RSNS 1989, Chapter 199) to identify opportunities and establish ways and means of seeking the opinions of the public concerning the review, adoption and amendment of a Heritage Conservation District Plan and By-law.

Before holding any public hearing under the authority of subsection (3) of Section 19A of the Heritage Property Act, Council shall ensure that the Heritage Advisory Committee conduct at least one public participation meetings which are advertised in a local newspaper at least four days in advance, and by a notice posted at the Town Hall.

The Heritage Advisory Committee may conduct opinion surveys, request written briefs or submissions, or use any other appropriate means of seeking the views and opinions of residents and ratepayers.

All impacted landowners of properties within the HCD or landowners with properties that are being removed from the HCD will be notified by mail of any public meetings regarding HCD Plan and Bylaw changes.

The Heritage Advisory Committee and/or Council shall provide public access to all reports, studies, maps, air photographs and other materials that are relevant, and where its is feasible, provide copies of such material for distribution, purchase, or loan.

The Heritage Advisory Committee shall consider the views, expressions and opinions obtained from the Public Participation Meeting prior to making a recommendation to Council.

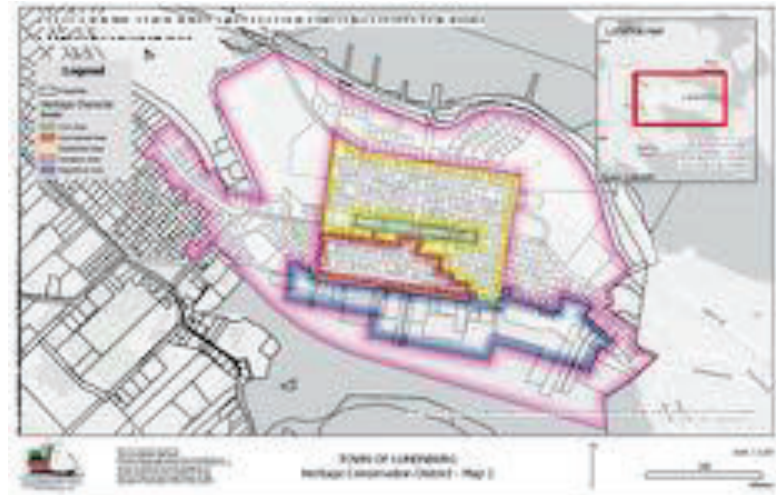
**Attachment E – Minimum Procedural Requirements to Pass a
New Heritage Conservation District Plan and By-law**

Mechanism and Section:	Process:	Status:
HPA Regulations Section 6(1)	Before undertaking the preparation of a conservation plan and by-law, a council shall adopt, by resolution, a public participation program.	Completed
HPA Regulations Section 7(1)	Requirements for the Adoption of Background Study	Completed
HPA Regulations Section 7(1)(3)	Within sixty days of the receipt of the studies, the Minister may prescribe additional background studies.	Completed
HPA Regulations Section 7(1)(4)	The Minister shall advise the Council when no additional studies are required.	Completed
Public Participation Program	To be approved with the Background Study.	Completed
Public Participation Program	Advertisement of Public Notice for Public Participation Meeting	
Public Participation Program	HAC holds Public Participation Meeting	
Public Participation Program	HAC provides advise and comments from the Public Participation Meeting to Council.	
HPA Regulations Section 8(1)	Before adopting a conservation plan and by-law, a council shall hold a public hearing at which oral and written submissions regarding the proposed conservation plan and by- law are received.	
HPA Regulations Section 8(2) (First Reading)	The Council shall cause notice to be given of the public hearing and of its intention to adopt a conservation plan and by-law by an advertisement inserted at least once a week for two successive weeks in a newspaper circulating in the area of the district, the first of such notices to be published at least twenty-one clear days before the date fixed for the public hearing	
HPA Regulations	The Council shall cause notice of its intention to adopt a	

Section 8(3)	<p>conservation plan and by-law to be delivered by personal service upon or by ordinary mail to each assessed owner, or any subsequent owners shown on the records in the regional assessment office, of property within the proposed district at least twenty-one clear days before the date fixed for the public hearing.</p> <p>Subsection 8(3) amended: O.I.C. 1999-587, N.S. Reg. 128/99.</p>	
<p>HPA 19A(3) (Public Hearing) HPA 19A(3) (Second Reading)</p>	<p>A conservation plan and conservation by-law shall be adopted by a majority vote of the whole Council after a public hearing and consideration of any submissions received, but only those councillors present at the public hearing may vote upon the adoption of the conservation plan and conservation by-law.</p>	
<p>HPA Regulations Section 9(1) (Submission to the Province)</p>	<p>9 (1) Upon the adoption of a conservation plan and by-law, four duly certified copies each of the plan and by-law shall be submitted to the Minister for approval together with</p> <ul style="list-style-type: none"> (a) one duly certified copy of the resolution of Council adopting a program of public participation; (b) copies of the two newspaper notices notifying of the intention of Council to adopt; (c) one copy of the notice served on property owners; and (d) one copy of any written submissions received by Council, and the clerk of the municipality shall provide, by statutory declaration, proof of compliance with the resolution of Council adopting a program of public participation, and with the public hearing and notice requirements contained in the Act and these regulations. 	
<p>HPA Regulations Section 9(2) (HCD becomes effective upon the publishing of the approval ad)</p>	<p>Upon approval by the Minister of a conservation plan and by-law, the Council shall</p> <ul style="list-style-type: none"> (a) cause a notice to be published in a newspaper circulating in the district stating that the conservation plan and by-law have been approved, their effective date and the place where they may be inspected; (b) transmit a copy of the notice to the Minister; and (c) cause a copy of the conservation plan and by-law, signed by the Minister, to be filed in the office of the registrar of deeds for the registration district in which the district is situated, without proof of the signature or the official character of the Minister. <p>(3) Section 19A of the Act and Sections 3 to 9 inclusive of these regulations apply mutatis mutandis to the amendment of a conservation plan and by-law.</p> <p>(4) Notwithstanding subsection (3), the Minister may waive or change the requirement for studies in subsection (1) of Section 7, where Council is proposing to amend a conservation plan or by-law.</p>	

	Subsection 9(4) amended: O.I.C. 2000-451, N.S. Reg. 157/2000.	

Attachment F – Old Town Lunenburg UNESCO World Heritage Site Boundary and Buffer Zone versus proposed Old Town Lunenburg Heritage Conservation District boundary.



Attachment G – Frequently Asked Questions

Q: Why is the Town doing this? Why are we changing the Old Town Lunenburg Heritage Conservation District Plan and By-law?

The Town has been working on a new Old Town Lunenburg Heritage Conservation District Plan and By-law since 2018, along with the Town's other planning documents. The Plan and By-law are updated to conform to best heritage practices, such as value-based conservation. Values-based heritage conservation is an approach that focuses on preserving the cultural significance of places. Actions are measured against whether they would undermine or enhance a place's significance. The draft Old Town Lunenburg Heritage Conservation District Plan and By-law include a new Statement of Significance that captures all the reasons Old Town Lunenburg is a National Historic Site and World Heritage Site.

Q: My property is being added to the District. Why?

Based on public feedback, staff recommends expanding the District, adding a transition area around Old Town Lunenburg. A Transition Area will provide extra protection around Old Town Lunenburg. It will also protect the entrances and exits to and from Old Town. Historic properties (character-defining or locally significant structures) in the Transition Area will be regulated under conservation guidelines. Non-historic properties (supporting structures) and new development in the Transition Area will be regulated under design guidelines. The Transition Area includes the World Heritage Buffer Zone.

Q: What are the differences between the buffer and transition area?

Old Town Lunenburg has a World Heritage Buffer Zone put in place by the World Heritage Committee in 2017. The purpose of a World Heritage Buffer Zone is to ensure the preservation of a site's Outstanding Universal Value by preventing or minimizing any negative impacts that may arise in the surrounding area. The Town reports activity in the Buffer Zone to the UNESCO World Heritage Centre and Committee through Parks Canada. Adopting a new Heritage Plan and By-law would not change the World Heritage Buffer Zone. The Town's reporting to Parks Canada will remain the same.

The World Heritage Buffer Zone is not municipally managed for heritage concerns. The new Transition Area will bring the World Heritage Buffer Zone under local heritage management, reconciling Old Town's different recognition levels: international and local. The Transition Area will offer additional safeguarding for Old Town Lunenburg and its entrances and exits. Ensuring appropriate legal, regulatory, and planning measures are in place to protect and manage the World Heritage Buffer Zone effectively is considered best practice under the Operational Guidelines for the Implementation of the World Heritage Convention. Historic properties (character-defining or locally significant structures) in the Transition Area will be regulated under conservation guidelines. Non-historic properties (supporting structures) and new development in the Transition Area will be regulated under design guidelines.

Q: How was the decision made for which structures were character-defining?

Structures are character-defining if they contribute to the heritage value of the District. Some character-defining buildings contribute to the Town's colonial Plan. Most character-defining structures speak to Lunenburg's vernacular architecture tradition. Locally significant structures, like the Heritage

Bandstand or historic bank buildings, speak to Lunenburg's local history. These are also protected in the draft Old Town Lunenburg Heritage Conservation District Plan and By-law. Brighter Community and staff evaluated each property. Structures that do not contribute to Old Town's heritage value are called supporting structures, and they are regulated under design guidelines instead of conservation guidelines.

Q: My property is listed as residential character-defining. Does that mean my business has to move?

No. Historic buildings were categorized based on their design typology, the use for which they were initially designed and their architectural form, not their current use. One of the most important differences between, for example, residential and commercial character-defining buildings is commercial character-defining buildings fall under guidelines for historic storefronts with large windows. Residential character-defining buildings, even if they have been used for commercial purposes over their history, cannot have storefronts added to them because it would mean a substantial loss of historic fabric. A building's categorization does not mean that buildings can't be used for other activities. It does not prohibit adaptive reuse. For example, the historic Wolff House is a Character-Defining Residential Structure but can still be used by and for businesses. One exception is buildings on the Civic Blocks, which should continue to serve public functions.

Q: Why do you feel Tannery Road isn't worth protecting?

The proposed Old Town Lunenburg Heritage Conservation District boundary includes all the resources that contribute to Old Town's national and international heritage value and a Transition Area that acts as a buffer around Old Town. The proposed boundary encompasses the entire Old Town Lunenburg World Heritage Site and World Heritage Buffer Zone. It was felt Tannery Road does not contribute to the integrity of the World Heritage Site. The Town could explore creating a new Heritage Conservation District for Tannery Road with its own Statement of Significance, recognizing the heritage value of this area. Individual properties can be registered and protected as Municipal Heritage Properties.

Q: What requirements will there be for development in Blockhouse Hill to respect the District's heritage?

Blockhouse Hill is not currently protected under any municipal heritage legislation. However, it is included in the new Transition Area in the draft Old Town Lunenburg Heritage Conservation District Plan and By-law. If passed, any new homes on Blockhouse Hill must adhere to Sections 2.3 'New Residential Buildings' and 2.5 'New Buildings in the Transition Area.' For example, buildings must be physically, visually, and stylistically compatible with, subordinate to and distinguishable from the ten closest character-defining structures. Designs need to include decorative elements inspired by those found on Old Town Lunenburg's residential character-defining structures, such as porches, brackets, cornices, verandahs, balconies, cornerboards, and window and door trim.

Q: I bought a house with vinyl siding. Can I keep it?

Under the current 2000 Lunenburg Old Town Heritage Conservation District Plan and By-law, you could replace existing vinyl siding with new vinyl siding. In the latest draft Plan and By-law, wooden clapboard or shingles must be used when replacing more than twenty percent of any exterior wall covering. All new residential and commercial buildings must have wooden clapboards or shingle siding. A new civic building may be built of brick or stone. Preferably, all new marine-industrial buildings will

be clad in wood shingles or clapboard. However, new cladding materials are permitted for new buildings in the Waterfront Area that do not front on Bluenose Drive.

Q: Can I install a heat pump at my house?

Like all mechanical and electrical equipment, heat pumps cannot be located on the front or principle building façade under the draft Old Town Lunenburg Heritage Conservation District Plan and By-law. If the heat pump is visible from the public realm, like a street or sidewalk, it must be screened with a fence, garden trellis, outbuilding or evergreen landscaping.

Q: Will Solar Panels be allowed in Old Town?

Yes. Solar panels and other green technologies are encouraged. Each structure can have four roof-mounted solar panels, but their placement must be balanced. More solar panels may be allowed if they don't outnumber the number of bays in the corresponding elevation. Solar panels are not allowed on the front façade of buildings or in front yards.

Q: Will subdivision be allowed in Old Town under the new regulations?

Yes. The draft Old Town Lunenburg Heritage Conservation Plan and By-law do not affect whether you can subdivide a property. Subdividing property is handled under the Town's Subdivision By-law, which is available here: <https://townoflunenburg.ca/strategy-and-by-laws.html>.

Q: Will this affect my taxes?

No, the Heritage Conservation District Plan and By-law do not affect tax rates. Your taxes will not change if the Plan and By-law are adopted.



TOWN
OF
LUNENBURG

WHAT WE HEARD

REPORT

Town of Lunenburg Heritage Advisory Committee's 2023
Public Participation Schedule for the Draft Old Town
Lunenburg Heritage Conservation District Plan and By-law

What We Heard Report

July 2023

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This What We Heard Report was completed
by the Department of Community Development for
the Town of Lunenburg



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Introduction and Background

This 'What We Heard Report' summarizes the public feedback received during the Town of Lunenburg's Heritage Advisory Committee's June 2023 Public Presentation Schedule. On May 23, 2023, the Committee used their discretion under Section 3 of the Town of Lunenburg's 'Policy Procedural Policy for Heritage Conservation District Public Participation' to increase public participation in reviewing the draft Old Town Lunenburg Heritage Conservation Plan and By-law before rendering a recommendation to Council. Increasing public involvement and expanding the scope of communication with residents to include Architectural Control Area property owners demonstrated the Heritage Advisory Committee's commitment to making every reasonable effort to seek the opinions of the public on all relevant matters and reserve time for commentary, questions, and presentations. The Heritage Advisory Committee now faces the task of effectively utilizing the valuable public feedback received to make recommendations on the draft Old Town Lunenburg Heritage Conservation District Plan and By-law to Lunenburg's Town Council.

The Public Presentation Schedule included:

Three Open Houses:

- June 15 – 4:00 pm to 7:00 pm – Fire Hall (25 Medway St.)
- June 19 – 6:00 pm to 8:00 pm – Online via Zoom
- June 25 – 12:00 pm to 4:00 pm – Bandstand (125 Cumberland St.)

Multiple Notices and Communications:

- Letters to all property owners within the proposed Old Town Lunenburg Heritage Conservation District
- Letters to all property owners in the Architectural Control Areas under the Town of Lunenburg's *Land Use By-law*
- Public Participation Meeting advertisements in the *Progress Bulletin* on June 14 and June 21, 2023
- The draft Old Town Lunenburg Heritage Conservation District Plan and By-law was available on the Town's website, and hard copies were available for viewing at Town Hall
- Answers to frequently asked questions were added to the Town's website
- Frequent posts and reminders on the Town of Lunenburg's social media

One Public Participation Meeting:

- June 26 – 6:00 pm to 7:48 pm – Council Chambers (Town Hall, 119 Cumberland St.)

Anyone could submit written comments via email to OurHeritage@Townoflunenburg.ca or by mail to Town of Lunenburg, c/o Hilary Grant, 119 Cumberland Street, PO Box 129, Lunenburg, NS Canada B0J 2C0. Written comments were accepted until midnight, June 26, 2023.

As part of the Public Participation Schedule, staff interacted with approximately 125 people. This number is inexact, as some people submitted comments multiple times or attended numerous events. Roughly 119 people, or 95% of participants, were Town of Lunenburg residents. The Public Participation Schedule met the Town of Lunenburg's 'Procedural Policy for Heritage Conservation District Public Participation

Program.' Adopting a Public Participation Program for the Heritage Conservation District review is required under the "Heritage Conservation District Regulations" of the Nova Scotia *Heritage Property Act*.

A qualitative analysis of all the feedback received as part of the Public Participation Schedule follows. The study includes all written submissions, whether submitted by email or during the three public workshops – staff received no letters by mail. Staff also took notes during their discussions with the public at the workshops, which are integrated throughout this report. Feedback is anonymized, but copies of all the written feedback were shared with the Heritage Advisory Committee. Feedback was appended to the June 26 and July 10 Heritage Advisory Committee meeting agendas.

Comments have been grouped into categories based on how they might inform revising the draft Old Town Lunenburg Heritage Conservation District Plan and By-law. Comments were organized to facilitate the Heritage Advisory Committee's review of these documents. This report summarizes the comments received without providing any staff recommendations. Staff comments and suggestions are in the July 10, 2023, Heritage Advisory Committee agenda package. This report and staff feedback use the same organization with minor variations so that readers can cross-reference the draft Old Town Lunenburg Heritage Conservation Plan and By-law, public feedback, and staff recommendations more easily.

While comments were categorized following the draft Old Town Lunenburg Heritage Conservation District Plan and By-law's overall structure, many thoughts related to the draft in multiple ways and could inform multiple edits across the documents. In some cases, the public's feedback has been repeated in various categories in some instances to ease the Committee's review. This report focuses exclusively on the draft Old Town Lunenburg Heritage Conservation District Plan and By-law and does not address other Town by-laws, plans or policies.

The reliance on interpretation in qualitative data analysis introduces subjectivity into the process. This subjectivity can be seen as a potential limitation because different individuals may interpret the data differently, leading to varying results. In the case of this report, a single individual was responsible for organizing the data set, which further emphasizes the subjective nature of the analysis. However, the subjectivity of qualitative research can also be a strength in its ability to convey intricate concepts and rich experiences effectively. The Heritage Advisory Committee should consider all feedback, regardless of how often it is repeated.

On behalf of the Heritage Advisory Committee, Town staff expresses gratitude to everyone who assessed the draft Old Town Lunenburg Heritage Conservation District Plan and By-law. Safeguarding the heritage of our Town requires collaborative efforts. Your involvement and written input hold immense value in our work to conserve our historic community.

Public Feedback: Plan and By-law

Statement of Significance

Some participants questioned the reliability of the information in the Statement of Significance. Some felt the draft does not adequately encompass Old Town Lunenburg's World Heritage Site nomination's arguments for World Heritage listing, leaving the district at risk. The argument was made that remaining the best-preserved colonial settlement in North America means the colonial street grid, public spaces, and common lands must be preserved, and, as such, no development should be allowed on the former common lands on Upper King Street and Blockhouse Hill. Concern was also expressed around whether views would be protected and whether the site of the original blockhouses would be developed. It was also argued that Lunenburg's plan did consider local topography and that Morris drafted the Town's plan in Nova Scotia, not abroad.

Boundaries

Public feedback highlighted several possible changes to the Old Town Lunenburg Heritage Conservation District's boundaries, including expanding the district to include:

- New Town
- Tannery Road
- Blockhouse Hill
- Upper King Street
- Gallows Hill

The historic architecture in New Town and along Tannery Road was cited as a reason to protect these areas. The importance of the setting and the common lands to Old Town's World Heritage listing were cited as reasons to protect Blockhouse Hill and Upper King Street. People generally supported including Gallows Hill, often called the Academy Lands, being in the district. It was proposed that the remaining Common Lands now owned by the Town, particularly Upper King Street and Blockhouse Hill, be sectioned off from the rest of the Transition Area and become their own Heritage Area where all development is prohibited.

Character-Defining, Locally Significant and Supporting Structures

In its review, staff found several errors in Appendix E List of Character-Defining, Locally Significant and Supporting Structures and the public also brought attention to several errors. Some property owners wanted to ensure their homes were included in the district. The owner of 46 Lorne asked why their property was not included in the district, arguing for its heritage value. The importance of including buildings on the north side of Creighton Street in the district was stressed. Others, like the owners of 289

Pelham, want to be excluded from the district because their property had nothing to do with the colonial grid. Many questioned why the 'Oxner Loop' is included in the district's draft plan and by-law.

Standards

At a high level, concern was expressed over the Plan and By-law's restrictiveness. Some questioned whether it might stifle the district's vitality and discourage its development as a living Town, ultimately undermining its conservation. Some spoke in favour of more high-quality design of structures, but also public spaces, including lighting, landscaping, and outdoor furniture. On the other hand, some preferred an even more restrictive restoration approach, reconstituting lost historical elements and strictly limiting change. One representative argued distinguishability is a 'red herring,' a result of the modern heritage paradigm, and that close stylistic imitation is an acceptable heritage conservation approach. Public opinion varied on the topic of development. While some individuals showed support, feeling development could lead to a vibrant and affordable community, many people voiced concern about developing either in Old Town Lunenburg, the Transition Area or both. Some felt the protective measures for Old Town Lunenburg were weak compared with those at other World Heritage Sites. Some others were concerned about legal challenges, warning that strict provisions could lead to the Town being sued or managing costly appeals to the Nova Scotia Utilities Board. The importance of being able to rebuild if a property were lost to an act of nature was raised. This divergence manifested in opposing opinions on specific guideline provisions discussed in-depth below.

Equity and Inclusion

Some people praised the draft plan's commitment to inclusion and diversity. No comments were received against policies fourteen through sixteen that promote exploring Lunenburg's Indigenous and African Nova Scotian histories or ensuring accessibility within the district. That said, business owners and representatives raised concerns about the difficulty of retrofitting historic buildings to be accessible. One respondent noted that policy 31 is inaccurate - Council can encourage building officials to apply the Alternative Compliance sections of the Building Code, but Council cannot direct them. One respondent felt the word 'subaltern' had negative connotations and suggested removing it.

Sustainability

One resident strongly felt that sustainability should be about making buildings more efficient, cutting down on energy usage, and not just using green technologies to offset consumption. More specific feedback on the guidelines for green technologies, including solar panels and heat pumps, is included below.

Community and Capacity Building

Feedback on community and capacity building fell into two broad categories. First, it was noted that in many other historic districts, services and mechanisms are in place to support building owners. These included design advice services, advisory groups of like-minded citizen owners, and directories or referral

services that connect building owners (or tenants) with researchers, designers, contractors, tradespeople, and other experts. Second, the importance of skilled labour and heritage craftsmanship for preserving and protecting the district, particularly for continuing vernacular traditions, was stressed. At the June 26, 2023, Public Participation Meeting, members of the Heritage Advisory Committee said skilled labour is crucial in maintaining the integrity and authenticity of the district. Many public participants said the Town needed to foster an enthusiasm and culture of conservation across the district and Lunenburg as a whole.

Research

Participants expressed concerns about the reliability of historical information presented in the draft documents. This feedback can be categorized into two main areas of concern: the need for additional research about the district's history and the presence of inaccuracies, especially in the Statement of Significance. This section of the report will address the need for further research. The need for further research towards guidelines for fences, outbuildings, lighting, street furniture and building exterior paint colours was stressed. Many felt the histories of individual buildings should be chronicled and better integrated into heritage planning in Lunenburg, some specifically requesting additional statements of significance be written. The use, or lack thereof, of archival documents in conservation planning was noted. Specific points raised during the feedback process include the lack of use of archival photos and the idea of updating the Plaskett inventory. Participants emphasized that competent historical research and efforts to promote ongoing historical and archaeological work should be a top priority for Lunenburg. It was argued this work is crucial for the Town to maintain its esteemed worldwide recognition as the best surviving example of a British colonial planned Town with a remarkable legacy of vernacular architecture. No one indicated that additional research was not needed.

Incentives:

Many were also worried about the increasing expense associated with conservation in Lunenburg. There were concerns that provisions around, for example, heat pumps, siding, or windows, could make it unaffordable for some to stay in their homes. On the other hand, people said stricter conservation provisions create an environment where heritage tradespeople can find enough work to stay in Lunenburg. A healthy market for heritage trades ensures the building traditions we need to conserve the district in the long term are economically viable.

Implementation

One issue that emerged during the review process is the perceived tendency of the Town to have a short memory regarding important commitments and policy decisions, raising questions about whether there is a disregard for historical rigour or insufficient record keeping and management of staff turnover, with a few new heritage officers in the past five to ten years of particular concern. This concern was further compounded by observations of inconsistent implementation of the by-law, causing some individuals to feel uncertain about the reliability of the process. Additionally, participants expressed frustration over

long wait times and raised concerns about by-law violations, where individuals were allowed to install items despite regulations suggesting otherwise. Participants expressed the need for more rigorous enforcement of by-laws and suggested exploring the possibility of imposing fines. Furthermore, doubts were raised regarding the expertise involved in decision-making, both at the staff level and when hiring external consultants.

Public Feedback: Guidelines

Below is a list of feedback received that is most pertinent to the Guidelines of the Old Town Lunenburg Heritage Conservation District By-law. Some feedback has repercussions across the Plan and By-law, some across multiple guidelines, while some are very specific.

- Archaeological Resources
 - Participants emphasized the need for a clear definition of archaeological resources and recommended referring to provincial legislation and national policy for guidance. Concerns were raised about archaeological remains on vacant lots that previously had buildings. Some were surprised that archaeology did not feature more prominently throughout the draft Plan and By-law.
- Compatibility
 - One significant aspect of the feedback is the need to define compatibility. While no one spoke against compatibility, clear guidelines and criteria for assessing compatibility between new developments and existing heritage structures were seen as crucial for maintaining the district's unique character.
- Chimneys

The issue of chimneys and their provisions within the by-law was raised, particularly in cases where chimney removal was necessary for structural stability. It was noted that there are currently no provisions regarding chimneys in the draft Plan and By-law.
- Distinguishability
 - Like compatibility, many requested a definition of distinguishability and what it meant for regulating new development in Old Town Lunenburg Heritage Conservation District. Unlike feedback on compatibility, at least two people felt development should not stylistically contrast too sharply with the district's existing structures.
- Engineering Reports

It was suggested that staff clarify that engineering reports are mandatory before demolition and clarify the requirements for said reports to be considered adequate to ensure comprehensive understanding before granting demolition approvals.
- Fencing
 - It was noted that there is a lack of research on historic fence types in Lunenburg. Feedback highlighted the need for thorough research on fencing provisions, including considering historical fencing styles and materials. Again, it was felt current, and draft fencing provisions are based on insufficient research.

- Heat Pumps
 - Concerns were expressed about the district's potential limitations or indiscriminate installation of heat pumps. Others felt allowing these upgrades is essential to heating historic homes affordably.

- Metal Roofs
 - Participants requested further research on acceptable types of metal roofs beyond standing seams. Some have objected to metal roofs on the grounds there is no heritage reason to allow their installation. Some pointed out that Victorian buildings often had metal roofs.

- Outbuildings
 - It was also noted that there is a lack of research on historic outbuildings in Lunenburg. Participants recommended defining and protecting outbuildings, emphasizing their historical and visual significance. It was stressed that outbuildings are important vernacular structures. The option of prohibiting prefabricated outbuildings was raised by staff last Heritage Advisory Committee Meeting. It was also suggested that the by-law prohibit installing the same size trim on outbuildings and main buildings, arguing it leads to disproportionate trim sizes on outbuildings.

- Paint Colors
 - It was also noted that there is a lack of research on historic paint colors. Regulation of paint colours garnered attention, with some individuals advocating for colour regulation.

- Retaining Walls
 - At least one person said retaining walls were absent from the draft and recommended they be regulated.

- Soft Landscaping and Decorative Elements
 - It was noted that there is a lack of research on Lunenburg's landscaping, including lighting and public furniture like benches and plantings. The lack of attention to non-structural features such as trees and planted areas was raised, suggesting the need for their inclusion in the regulations.

- Solar Panels
 - Public opinion varied regarding installing solar panels, including discussions on practicality, maximum coverage, and potential limitations. Some felt solar panels should be prohibited altogether in the district. Others felt the proposed regulations are too restricted and recommended solar panels be allowed on the principle roof slopes of historic buildings.

- Statements of Significance for Individual Building
 - Many, including the Heritage Advisory Committee that Statements of Significance were missing for the Knaut-Rhuland House and Opera House. At least one respondent argued

that the home provincially recognized as Lunenburg's Oldest House is not the oldest home in Lunenburg.

- Stone
 - Clarification was sought on whether using natural stone in new civic buildings was allowed, and it was suggested the provision be clarified only to allow natural stone.
- Widows' Walks and Balconies
 - The public feedback received expressed concern regarding the conservation of widow's walks and balconies on historic properties. The feedback highlighted the worry that these architectural features might not be adequately preserved due to restrictions allowing them only on lower roofs.
- Windows in New Buildings
 - Divergent opinions emerged regarding the requirement for sash-type windows in new construction. The Advisory Committee members had differing views on the types of windows that should be allowed.
- Signs in Windows.
 - A public member noticed a discrepancy between the draft Guidelines in the Old Town Lunenburg Heritage Conservation District Plan and By-law and the *Land Use By-law*.
- Wooden Windows
 - The public feedback received included an argument for conserving and insisting upon wooden windows in Old Town Lunenburg. It emphasized that properly fitted wooden windows and storm windows can offer equal or superior efficiency compared to vinyl windows. Additionally, the replaceable components of wooden windows make them easier to repair over time, reducing construction waste. It was argued that heritage regulations ensuring wooden windows are used in the district would not only support the preservation of the Town's heritage but also fosters professional work opportunities, thereby contributing to the sustainability of Lunenburg's UNESCO status and ensuring the continuity of heritage trade expertise.
- Wooden Siding
 - Differing viewpoints were shared regarding mandating wooden siding, considering factors such as fire safety, cost, and personal preferences. Vinyl siding was a specific topic of discussion. Some feel alternate siding materials like vinyl should be allowed throughout the district, some that it should be allowed in the Transition Area, and some agree with the current draft that only wooden siding should be permitted on historic and new buildings. Some felt that modern materials have the look and feel of wood, so they should be accepted. Eliminating the grandfathering of existing non-wooden siding under the new regulation that wooden siding must be used when replacing 20% of a wall's covering was met with resistance.

Public Feedback: Usability and Enforceability

Numerous suggestions were made regarding the usability and enforceability of the draft Old Town Lunenburg Heritage Conservation District Plan and By-law.

1. Improved Formatting: Participants suggested using numbers and letters instead of bullets to enhance the document's clarity and ease of reference. They also recommended consistent and improved formatting, such as colour-coding residential areas and bolding character-defining elements. Additionally, exploring the removal of duplicated appendices was suggested to eliminate discrepancies and make the document shorter and easier to read.
2. Language Use: Many grammatical suggestions were made, along with more substantive recommendations. Participants emphasized avoiding information duplication and reviewing the document for mandatory language to enhance the enforceability of the by-law. They highlighted the importance of using consistent and compulsory accurate language throughout the documents, specifically "shall" instead of other terms to denote imperative requirements.
3. Summary Version: There was a request for a concise "Coles Notes" version of the plan and by-law. This summary version would serve as an initial public education resource, benefiting contractors, new residents, and realtors who require a quick overview of the regulations.
4. Visual Reinforcement: Participants stressed the importance of including historic and recent photographs, plans, and drawings in a digital version of the new by-law. They suggested that these visual elements supplement the written explanations, enhancing understanding and engagement with the regulations.

Summary and Thanks

The public participation program on the draft Old Town Lunenburg Heritage Conservation District Plan and By-law resulted in valuable participant feedback on various aspects of the proposed regulations. Specific feedback on guidelines included the need for clear definitions and controls over specific possible interventions. Concerns were raised regarding the reliability of the information in the Statement of Significance, with some participants feeling that it did not adequately encompass the arguments for Old Town Lunenburg's World Heritage listing. Boundary issues were also discussed, with suggestions to expand the district to include New Town, Tannery Road, Blockhouse Hill, Upper King Street, and Gallows Hill.

Participants highlighted errors in the list of properties and expressed the importance of including certain buildings and excluding others based on their heritage value and relevance to the colonial grid. The restrictiveness of the Plan and By-law raised concerns about potentially stifling the district's vitality and discouraging development, while others favoured a more restrictive restoration approach. Participants commended the Town's efforts towards equity and inclusion but raised concerns about the difficulty of retrofitting historic buildings for accessibility. The importance of sustainability was focused on green technologies and making buildings more energy efficient.

Community and capacity building were emphasized, with suggestions for support services for building owners and preserving heritage craftsmanship. The need for additional historical research and accurate documentation of buildings was highlighted to maintain Lunenburg's esteemed worldwide recognition. Participants called for improved record-keeping, enforcement, and expertise in implementing the by-law. Implementation challenges were raised, including concerns about historical rigour, staff turnover, inconsistent enforcement, and the decision-making process involving external consultants. People were concerned about affordability and interested in incentives, acknowledging the increasing expenses associated with conservation while recognizing the role of stricter provisions in supporting the heritage trades and ensuring long-term sustainability.

In conclusion, the public participation program on the draft Old Town Lunenburg Heritage Conservation District Plan and By-law has been instrumental in gathering valuable feedback and insights from participants. The input received from residents, property owners, business owners, and other stakeholders has provided diverse perspectives and ideas to shape the final version of the plan and by-law.

On behalf of the Heritage Advisory Committee, staff would again like to extend our sincere appreciation and gratitude to all those who took the time to participate in this program. Your thoughtful contributions and engagement have played a crucial role in shaping the future of Old Town Lunenburg's heritage conservation efforts. Your feedback has been invaluable in identifying areas of concern, highlighting important considerations, and suggesting improvements. The public participation program has demonstrated the community's passion for preserving Old Town Lunenburg's unique character and historical significance. Your contributions have been instrumental in ensuring that the final Old Town Lunenburg Heritage Conservation District Plan and By-law will be a comprehensive, inclusive, and sustainable framework for preserving this cherished historic district for generations to come.

Subject: Amendment to MPS and LUB to Delete Architectural Control Areas
From: Arthur MacDonald, Director of Community Development
Reviewed by: Jamie Doyle, CAO
Hilary Grant, Senior Planner-Heritage Officer
Date: October 10, 2023



Recommendation

That Council approve first reading of proposed amendments to the Municipal Planning Strategy and Land Use By-law to delete the Architectural Control Areas and Schedule "F" Heritage Conservation District and Architectural Control Area Map.

Alternatives

- To refuse the amendment.
- Approve the amendment with changes.

Background

In keeping with the Town's Comprehensive Community Plan (CCP) and Council's direction, the Town intends to adopt a new Heritage Conservation District (HCD) Plan and By-law and delete the Architectural Control Areas (ACAs) from the Municipal Planning Strategy (MPS) and Land Use By-law (LUB). The Dufferin Street ACA will be incorporated within the HCD. The Tannery Road ACA will be eliminated. The thought being that the Tannery Road area was distinct in its own right and did not contribute to the UNESCO World Heritage Site which is the narrative of the new Old Town Heritage Conservation District. This also follows the rationale for the new District's boundaries as outlined in the Background Study approved by Council on August 9, 2022 and available at file.html (townoflunenburg.ca).

This report will cover the deletion of the ACAs from the Town's MPS and LUB. The adoption of a new HCD Plan and By-law will be covered under a separate document. The existing MPS and LUB provisions are outlined in **Attachment A**. The Evaluation Criteria, Implementation Policy, 6-19 is outlined in **Attachment B**. The MPS amendments are outlined in **Attachment C**, and the LUB amendments are outlined in **Attachment D**.

The Planning Advisory Committee (PAC) held a Public Participation Meeting on February 27, 2023. There were no submissions for or against the proposed amendments. The following motion was approved:

Moved and seconded that the PAC recommends that Council proceeds with first reading of the proposed amendments to the Municipal Planning Strategy and Land Use By-law to delete the Architectural Control Areas and Schedule "F" Heritage Conservation District

and Architectural Control Area Map as outlined in the Planner’s report.

Motion carried unanimously

Discussion

The proposal involves the creation of a new HCD Plan and By-law and the deletion of the ACAs from the Town’s MPS and LUB. This enables the creation of one document focusing on architectural provisions and eliminates the need for cross-referencing with the Town’s MPS and LUB when it comes time to consider development proposals. Architectural provisions will be regulated through the HCD Plan and By-law through the issuance of a Certificate of Appropriateness. Registered Heritage Properties will be reviewed in light of the Heritage Property Act and the Alteration Guidelines for Municipally Registered Heritage Properties with regards to a Heritage Permit application.

The Municipal Planning Strategy (MPS):

Policy 6-9 of the MPS enables Council to consider an amendment to the text of the LUB if the proposed amendment is consistent with this MPS and meets the general evaluation criteria for amending the LUB, as set out in Policy 6-19. To ensure consistency and compatibility, the MPS will be amended to remove any inconsistencies with the new HCD Plan and By-law as well as ensuring that the LUB is consistent with the MPS.

Any amendment to the MPS and LUB must be evaluated pursuant to the Statements of Provincial Interest. The proposed amendment is considered not to be contrary to any Provincial Interest Statements as shown in the table below:

Provincial Interest Statements	
Statement 1: Drinking Water Goal: To protect the quality of drinking water within municipal water supply watersheds.	Regulating architectural details through a HCD Plan and By-law rather than the MPS/LUB will not affect Provincial Interest Statement 1.
Statement 2: Flood Risk Areas GOAL: To protect public safety and property and to reduce the requirement for flood control works and flood damage restoration in floodplains.	Regulating architectural details through a HCD Plan and By-law rather than the MPS/LUB will not affect Provincial Interest Statement 2.
Statement 3: Agricultural Land GOAL: To protect agricultural land for the development of a viable and sustainable agriculture and food industry.	Regulating architectural details through a HCD Plan and By-law rather than the MPS/LUB will not affect Provincial Interest Statement 3.
Statement 4: Infrastructure	Regulating architectural details through a HCD Plan and By-law rather than the

GOAL: To make efficient use of municipal water supply and municipal wastewater disposal systems.	MPS/LUB will not affect Provincial Interest Statement 4.
Statement 5: Housing GOAL: To provide housing opportunities to meet the needs of all Nova Scotians.	Regulating architectural details through a HCD Plan and By-law rather than the MPS/LUB will not affect Provincial Interest Statement 5.

Any amendment should also be evaluated pursuant to accessibility in keeping with the Lunenburg County Accessibility Plan. To this end staff has reviewed as outlined in the table below:

Review amendment through an accessible lens	
Review amendment with a focus on equity, diversity, and inclusion.	This amendment is a deleting of the Architectural Control Area from the MPS/LUB and will not negatively impact issues pertaining to equity, diversity, and inclusion.

Strategic Plan Relevance

- Heritage: Direction to protect and enhance existing heritage assets and to support a wider cultural narrative.
- Urban Design: Direction to enhance residents’ and visitors’ experience of the built environment.
- Culture and Recreation: Direction to support community life and assets in Lunenburg, including cultural identity, heritage interpretation, and the arts sector, as well as parks, open spaces, sports, and other activities.
- Governance: Direction to enhance internal and external relations through policies, procedures and resources.

Relevant Legislation

The Municipal Government Act outlines the required process for amendments to planning documents.

Financial

The deletion of the ACAs and regulating architectural control provisions through a new HCD Plan and By-law will not have any financial impacts on the Town.

Communications

A Public Hearing will be advertised in the local newspaper and on the Town’s website and social media.

Attachments

- A. Existing MPS and LUB Provisions
- B. Evaluation of Policy 6-19
- C. Amendments to MPS
- D. Amendments to LUB

Attachment A Existing MPS and LUB Provisions

Municipal Planning Strategy Provisions:

5.3 Heritage and Architectural Control

5.3.1 Introduction

Lunenburg has a distinct heritage rooted in the Germanic origins many of its first European settlers, its unique architectural character, and its historical association with the growth of the Atlantic fishery and the bygone age of sail. This strong heritage is recognized as an important element of community life, important not only to residents of the Town but to the growing tourism industry as well. The term "heritage" encompasses many things, from vernacular forms of speech, to local food, traditional skills, crafts, and means of livelihood, and the historic built environment.

The Town's architectural character is perceived as being a particularly important component of its heritage and Council has taken a number of initiatives to conserve, maintain, and improve that character.

In 1981, the Heritage Property By-law was first adopted under the *Heritage Property Act*, enabling Council to designate historic buildings, streetscapes, and areas in the Town and to control any substantial alteration to them. Implementation of the By-law began in 1982 when research was undertaken to document the historic and architectural character of the Town. This research culminated, in February 1984, in the publishing of an inventory of historic buildings, which laid the groundwork for subsequent designations of Municipal Heritage Properties under the Heritage Property By-law.

In 1991, Lunenburg received the distinction of having Old Town designated as a National Historic District.

In 1994, with the assistance of the Provincial Department of Housing and Municipal Affairs and a consultant, a background study was undertaken on the possible establishment of the Old Town as a heritage conservation district under the Heritage Property Act, with the district consisting of the National Historic District plus adjacent historic areas. A working group of residents assisted in the preparation of a draft conservation plan and bylaw that included policies restricting demolition of historic (pre-1940) buildings and design guidelines for new buildings, alterations to existing buildings, and signs, fences, and utility structures. The establishment of the heritage conservation district was also intended to qualify property owners for conservation assistance programs available from the provincial government.

In 1995, the Old Town was designated as a World Heritage Site by the United Nations Educational, Scientific and Cultural Organization (U.N.E.S.C.O.).

In 1996, following the Five-Year Review, limited architectural controls were introduced into the municipal planning strategy and land use bylaw. Three architectural control areas were established, one encompassing the Old Town National Historic District / World Heritage Site, another in the Dufferin Street and Falkland Street area, and a third in the Tannery Road area. Within these areas, architectural controls regulated the design of new main buildings and alterations to pre-1920 main buildings.

In 1997, with assistance from the Federal and Provincial Governments, the Town commissioned a Strategic Plan for conservation and management of the Town as a World Heritage Site. The resulting Lunenburg World Heritage Community Strategy, adopted by Council in 1998, identified numerous initiatives relating to cultural preservation and economic development. It also affirmed the need for the establishment of a heritage conservation district, comprehensive architectural controls, and financial incentives. In early 2000, following formal notification of all affected property owners, the heritage conservation district was established and the conservation plan and bylaw were adopted by Council.

In 2021 Council initiated a project to review the Heritage Conservation District Plan and By-law and Architectural Control Areas. However, this process is not yet complete at the time of adoption for this Municipal Planning Strategy and the associated Land Use By-law. As a result, this Municipal Planning Strategy continues without changing the approach contained within the 1996 Municipal Planning Strategy until such time as the review project is complete and this Plan is amended as necessary.

5.3.2 Heritage Conservation District and Architectural Control Areas

Council recognizes the potential social and economic benefits of preserving the heritage of Lunenburg and is committed to its protection. The designation of the Old Town as a National Historic District and World Heritage Site also imposes upon Council significant responsibility for its protection and management as a cultural resource of national and international importance. At the same time, Council recognizes that the Town is a living community, not a museum, and that architectural change must be accommodated.

In order to ensure the protection of Lunenburg's built heritage, Council has adopted a three-fold approach to architectural control:

- Voluntary designation of individual Municipal Heritage Properties under the Heritage Property By-law.
- Establishment of architectural control areas in the Dufferin Street, Falkland Street, and Tannery Road areas, with limited architectural controls implemented through the Land Use By-law. These architectural controls will continue the regulatory approach originally adopted in 1996 with the exception that the cut-off date for architectural reference is 1940. Within the architectural control areas, architectural controls will apply only to new main buildings and alteration of pre-1940 main buildings.

- Establishment of a heritage conservation district comprised of the Old Town National Historic District & World Heritage Site and adjacent historic areas, with architectural controls implemented through the policies and design guidelines of the conservation plan and bylaw. **Architectural controls in the heritage conservation district will apply to demolition of any pre-1940 building; the design of new buildings, including outbuildings; the alteration of any existing building, regardless of age; the design of fences and signs, and the placement and screening of utility structures.**

Policy 5-4: Council shall, through the Land Use By-law and pending completion of the project to review heritage and architectural controls, establish a Heritage Conservation District and Architectural Control Areas consistent with the 1996 Municipal Planning Strategy, as amended.

6.3.3 Amending the Text and Use Zoning Map of the Land Use By-law

Council recognizes it cannot foresee all possible types of development that might be acceptable in the Town in general, or on a specific piece of land. As such, there will be times when the Land Use By-law needs to be amended to accommodate a new development trend or specific development proposal.

Council also recognizes that it is possible to inadvertently make mapping errors in preparing the maps that accompanying this Plan and the Land Use By-law. Such errors may be in conflict with the policies in this Plan. Where such errors are discovered, Council may consider correcting them through amendments to the Use Zoning Map of the Land Use By-law.

Policy 6-9: Council shall amend the text of the Land Use By-law if the proposed amendment is consistent with this Municipal Planning Strategy and meets the general evaluation criteria for amending the Land Use By-law, as set out in Policy 6-19.

Note: The review of the Implementation Policy 6-19 has been addressed in Attachment B.

Land Use By-law Provisions:

7.3. Architectural Control Area

New Buildings

7.3.1. In addition to all requirements governing land use and building form, new buildings within the Architectural Control Area, as shown Schedule 'F', the Heritage Conservation District and Architectural Control Area Map, shall be similar to any substantially intact pre-1940 main building located within 91 metres (300 feet) of the new building and fronting on the same street, with respect to:

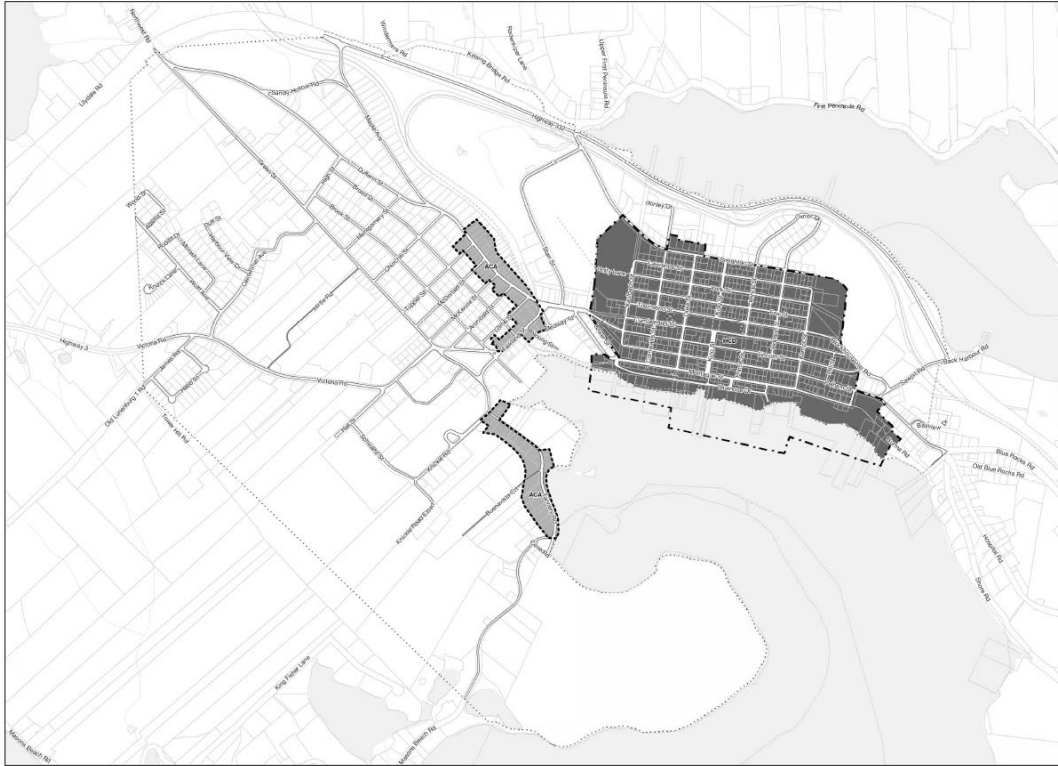
- (a) architectural style;
- (b) building length to width ratio;
- (c) height;
- (d) roof shape;
- (e) appearance of exterior cladding and roof materials;
- (f) architectural details and trim;
- (g) shape and size of porches, doors and windows;
- (h) window area to wall area ratio; and
- (i) location, type, bulk and appearance of chimneys.

7.3.2. New buildings located on corner lots may use either street as the street on which they front.

Additions and Alterations to Existing Buildings

7.3.3. In addition to all requirements governing land use, additions and alterations to any main building constructed prior to 1940 within the Architectural Control Area as shown on Schedule 'F', the Heritage Conservation District and Architectural Control Area Map, shall be similar to the main building with respect to Clauses (a) to (i) inclusive of Subsection 7.31. above, and the total building footprint of all additions approved after June 13, 1996 shall not exceed 25% of the building footprint existing prior to June 13, 1996.

Schedule "F" - Heritage Conservation District and Architectural Control Area Map



MAP
Heritage Conservation District and Architectural Control Area Map

SCHEMA E LAST UPDATED
F 2021.07.27

North SCALE
1:10,000

- LEGEND
- HCD Heritage Conservation District
 - ACA Architectural Control Area
 - Town of Lunenburg

Attachment B

Evaluation of Policy 6-19

6.5.1 Amending the Land Use By-law & Entering into Development Agreements

Amendments to the Land Use By-law and the entering into of development agreements are processes that require careful thought. As such, Council has established a set of general criteria to consider when evaluating all Land Use By-law amendments and development agreement proposals.

Policy 6-19: Council shall not amend the Land Use By-law or enter into a development agreement unless Council is satisfied the proposal:

- (a) is consistent with the intent of this Municipal Planning Strategy;
The proposal is to amend the MPS to ensure the deletion of the ACA's are consistent with the MPS. The amended LUB provisions will be consistent with the amended MPS policies.
- (b) does not knowingly conflict with any Town or Provincial programs, by-laws, or regulations in effect in the municipality;
The proposal does not knowingly conflict with any Town or Provincial programs, by-laws, or regulations in effect in the municipality.
- (c) is not premature or inappropriate due to:
 - i. the ability of the Town to absorb public costs related to the proposal;
The proposal is not premature or inappropriate due to the ability of the Town to absorb any public costs.
 - ii. impacts on existing drinking water supplies, both private and public;
The proposal is not premature or inappropriate due to impacts on existing drinking water supplies, both private and public.
 - iii. the adequacy of central water and sewage services or, where such services are not available, the suitability of the site to accommodate on-site water and sewage services;
The proposal is not premature or inappropriate due to the adequacy of central water and sewage services or, where such services are not available, the suitability of the site to accommodate on-site water and sewage services.
 - iv. the creation of excessive traffic hazards or congestion on road, cycling, and pedestrian networks within, adjacent to, or leading to the proposal;
The proposed amendment is to delete ACA's from the MPS/LUB and incorporate architectural provisions under a new HCD Plan and By-law. The Dufferin Street ACA will be incorporated with the HCD. The Tannery Road ACA will be eliminated. The amendment will not directly impact traffic or congestion. Considering the above, the proposal does not seem to be premature or inappropriate due to the creation of excessive traffic hazards or congestion on road, cycling, and pedestrian networks within, adjacent to, or leading to the proposal.
 - v. the adequacy of fire protection services and equipment;
There is no specific site being proposed for development. The proposal does not seem to be premature or inappropriate due to the adequacy of fire protection services and equipment.
 - vi. the adequacy and proximity of schools and other community facilities;
It is difficult to assess this evaluation criteria as no specific site is being proposed.
 - vii. impacts on UNESCO World Heritage Site statements of outstanding value;

The development of a new HCD Plan and By-law will strengthen the Town's provisions for the protection and enhancement of the UNSECO World Heritage Site statements of outstanding value. The removal of the two ACA's (Dufferin Street and Tannery Road) from the MPS/LUB does not seem to be premature or inappropriate due to impacts on UNESCO World Heritage Site statements of outstanding value. These two areas are outside of the UNESCO World Heritage Site.

- viii. the creation of a new, or worsening of a known, pollution problem in the area, including, but not limited to, soil erosion and siltation of watercourses;
The amendment will not cause any new, or worsening of any known, pollution problems.
- ix. site-specific climate change risks;
The amendment will not cause or increase any site-specific climate risks.
- x. the potential to create flooding or serious drainage issues, including within the proposal site and in nearby areas;
The amendment will not cause any flooding or drainage issues.
- xi. impacts on known habitat for species at risk;
The amendment will not cause any impact on known habitat.
- xii. impacts on the navigability and environment of Lunenburg Harbour;
The amendment will not cause any impact on navigation or environmental concerns on Lunenburg Harbour.
- xiii. the suitability of the site in terms of grades, soil and geological conditions, the location of watercourses and wetlands, and proximity to rights-of-way; and
It is difficult to assess this evaluation criterion as no specific site is being proposed.
- xiv. land use conflicts that could place limits on existing operational procedures at existing businesses.
The amendment will not, by itself, cause any land use conflicts with existing businesses.

Attachment C Amendments to MPS

- 1) Amendment to the Municipal Planning Strategy thereby amending the Table of Contents under “Chapter 5 - Community Form & Heritage” by deleting “5.3 Heritage and Architectural Control” and substituting therefore “5.3 Heritage” and deleting “5.3.2 Heritage Conservation District and Architectural Control Areas” and substituting therefore “5.3.2 Heritage Conservation District”.
- 2) Amendment to the Municipal Planning Strategy thereby amending the Title “5.3 Heritage and Architectural Control” on page 32 and substituting therefore “5.3 Heritage”.
- 3) Amendment to the Municipal Planning Strategy thereby amending the subtitle “5.3.2 Heritage Conservation District and Architectural Control Areas” on page 34 and substituting therefore “5.3.2 Heritage Conservation District”.
- 4) Amendment to the Municipal Planning Strategy (MPS) thereby deleting the last paragraph in Section “5.3.1 Introduction” on page 33 and substituted therefore the following paragraph:

“In 2023 Council approved a new Heritage Conservation District Plan and By-law. The former Dufferin Street and Falkland Street Architectural Control Areas were deleted from the Municipal Planning Strategy and Land Use By-law and incorporated within the new Old Town Lunenburg Heritage Conservation District. The Tannery Road Architectural Control Area was also deleted from the Municipal Planning Strategy and Land Use By-law but was not incorporated within the new District. The thought being that the Tannery Road area was distinct in its own right and did not contribute to the UNESCO World Heritage Site which is the main narrative of the new Old Town Heritage Conservation District. If properties wished to have heritage protection, they are encouraged to have their properties registered as municipal heritage properties under the Heritage Property Act. Council also retains the right to designate the Tannery Road are under its own Heritage Conservation District at a future date, if so desired.”

- 5) Amendment to the Municipal Planning Strategy (MPS) thereby deleting the second paragraph of subsection 5.3.2 and substitute therefore the following:

“In order to ensure the protection of Lunenburg’s built heritage, Council has adopted a two-fold approach to architectural control:”
- 6) Amendment to the Municipal Planning Strategy (MPS) thereby deleting the second bullet in subsection 5.3.2 on page 34.
- 7) Amendment to the Municipal Planning Strategy (MPS) thereby deleting the third bullet in Subsection 5.3.2 on page 34 and substituting therefore the following:

- “
- Establishment of a Heritage Conservation District comprised of the Old Town National Historic Site and World Heritage Site and the Dufferin Street and Falkland Street historic areas, with architectural controls implemented through the policies and design guidelines of the Heritage Conservation District Plan and By-law.”

- 8) **Amendment to the Municipal Planning Strategy (MPS) thereby deleting Policy 5-4 and substituting therefore "Policy 5-4 "DELETED"".**

Attachment D Amendments to LUB

- 1) Amendment to the Land Use By-law by thereby deleting 7.3 from the Table of Contents on page “vii” in its entirety and substituting therefore “7.3 ‘DELETED’”.
- 2) Amendment to the Land Use By-law thereby deleting Section 7.3 in its entirety on Page 29 and substituting therefore “7.3 “DELETED””.
- 3) Amendment to the Land Use By-law thereby deleting “Schedule ‘F’ – Heritage Conservation District and Architectural Control Area Map” from the Table of Contents on page “viii” and substituting therefore “Schedule ‘F’ – “DELETED””.
- 4) Amendment to the Land Use By-law thereby deleting “Schedule ‘F’- Heritage Conservation District and Architectural Control Area Map” and substituting therefore a blank page with the words “Schedule ‘F’- “DELETED””.
- 5) Amendment to the Land Use By-law thereby deleting subsection 4.2.1.(b) and substituting therefore the following:

“(b) Exterior renovations or alterations to a structure that do not result in a change in volume or gross floor area, number of dwelling units, or a change in use of the structure.”
- 6) Amendment to the Land Use By-law thereby deleting subsection 6.13.3. and substituting therefore the following:

“6.13.3. The minimum bicycle parking requirements of Table 3 shall not apply to existing buildings.”
- 7) Amendment to the Land Use By-law thereby deleting subsection 7.2.3. and substituting therefore the following:

“7.2.3. Notwithstanding any other provision of this By-law any vegetation or building or structure including, but not limited to, fences and signs are not permitted to exceed 1.0 metres (3.2 feet) in height above the grade of the abutting streets in a corner vision triangle except in the Old Town Lunenburg Heritage Conservation District. This provision shall not apply above a height of 2.4 metres (7.9 feet).”
- 8) Amendment to the Land Use By-law thereby deleting subsection 7.8.2. and substituting therefore the following:

“7.8.2. Signs require a Certificate of Appropriateness prior to issuance of a development permit if the property is located in the Old Town Lunenburg Heritage Conservation District.”

Subject: Committees Policy – Repeal and Replace
From: Kayla Byrne, Municipal Clerk
Reviewed by: Jamie Doyle, CAO
Date: October 10, 2023 – notice
October 24, 2023 – decision



Recommendations:

- That Council give notice to repeal the Committees of Council Policy and replace it with the new Committees Policy as presented.

Background

Staff are conducting a review of all Town policies and bylaws. As the Committees Policy is referenced annually for appointing citizens and councillors to committees and reviewing committee appointments, it was deemed a priority for review.

Discussion

The current [Committees of Council Policy](#) provides some guidance on the appointments to committees; however, the bulk of the policy is terms of reference for Council's advisory committees. The proposed policy does not include committees' terms of reference. However, this policy states that Council must approve new terms of reference and amendments to terms of reference. The intent is that terms of reference are separate from a Council policy. If the existing policy is repealed, the terms of reference will still be valid. If the new policy is approved, committees will be asked to review respective terms of reference, and staff will present any proposed amendments at a future Council meeting.

The proposed policy also aims to provide clear direction on the following:

- Creation of Council Committees
- Dissolution of Council Committees
- Councillor appointments to Council Committees and external committees
- Councillors in a personal capacity as volunteers or citizen representatives
- Citizen appointments to Council Committees
- Use of Town resources; and
- Clearly defined roles and responsibilities of Council, the CAO and staff

As the policy is currently written, most of the bullet points noted above have little guidance.

Strategic Plan Relevance

Internal Operations: Undertake a policy, procedure and bylaw review to enable implementation of CCP.

Relevant Legislation

Municipal Government Act (MGA): As per the MGA, there must be seven days' notice before a policy is approved or amended.

Financial

There are no financial impacts related to repealing and replacing this policy. Both the existing policy and the proposed policy have a clause stating that citizens appointed to a Council Committee may receive an annual honorarium as allocated in the Town's annual operating budget.

Communications

The updated policy will be published on the Town's website if approved.

Attachments

- Proposed Policy

Committees Policy

Date adopted by Council: **TBD**



1. POLICY STATEMENT

The Town of Lunenburg recognizes the importance of fostering strong relationships with residents, regional partners and neighbouring municipalities through participation on committees, which can help address and advise on shared challenges, leverage opportunities, and promote regional cooperation.

2. PURPOSE

The purpose of the Committees Policy is to establish a framework that governs the creation, operation, and oversight of committees formed by Council. This policy also directs Council participation and representation on partner, inter-municipal or external committees and boards not led by the Town of Lunenburg.

3. APPLICABILITY

This policy applies to all Town of Lunenburg Council Committees. This policy also applies to councillor appointments to partner, inter-municipal or external committees and boards.

4. COMMITTEE DESCRIPTIONS

Council Committees are typically composed of Town of Lunenburg residents and councillors and are responsible for conducting research, making recommendations, and advising on matters within their designated scope to be brought forward to Council.

Inter-municipal committees are specialized committees established through formal agreements, such as inter-municipal service agreements, regional bylaws or other contractual arrangements where Council members from different municipalities, and possibly other stakeholders, come together to address specific matters of regional or shared interest.

Partner committees are committees where Council collaborates with municipal partners or other stakeholders by invitation, formal agreements, or other service agreements.

External committees are independent committees or organizations outside the direct jurisdiction of Council. Council may choose to participate in these committees upon request.

Task force is a temporary and specialized group convened by Council to address a specific, complex issue within a defined timeframe. Task forces typically comprise subject matter experts, relevant stakeholders, staff and Council members. They aim to conduct in-depth research, analysis, and collaborative problem-solving to generate recommendations or solutions for Council's consideration. Once the task force's objectives are met, it is disbanded.

5. COUNCIL COMMITTEES

Current Council Committees are outlined in Appendix A. Appendix A may be modified through a motion of Council and does not require an amendment to this policy.

6. CREATION OF COUNCIL COMMITTEES

New Council Committees may be created by a motion of Council. A notice of motion is required before Council votes on creating a committee.

The following factors may trigger the creation of a new committee:

- Public issues or trends;
- Legislative requirement;
- Council request; or
- Staff request.

Council may appoint special Task Force committees from time to time to undertake the review of a specific issue or short-term project and to remain in place only if there is a continuing need for the work of that task force as determined by Council. In appointing a Task Force committee, Council and the Chief Administrative Officer will create clear terms of reference, a schedule for the Task Force committee to report, and the procedure to select a Task Force chair.

7. DISSOLUTION OF COUNCIL COMMITTEES

Council Committees may be dissolved by a motion of Council. A notice of motion is required before Council votes on dissolving a committee.

The following issues may trigger the dissolution or completion of a committee:

- Completion of mandate;
- Resolution of issues;
- Merger with another committee;
- Annual review process;
- Council request; or
- Staff request.

8. COUNCILLOR APPOINTMENTS

The Mayor and the Chief Administrative Officer will recommend and review councillor appointments to committees annually in October. Recommendations will be based on Council member interests, committee needs, and Council member scheduling conflicts, along with other considerations that may be relevant (such as family and work commitments). The Mayor and the Chief Administrative Officer will strive to bring forward equitable and fair recommendations to all Council members and distribute the workload amongst all Council

members.

During the annual review, councillors do not need to be reappointed to existing appointments if there are no recommended changes.

Once appointed to committees, Council members are expected to attend and be fully committed to each committee they are appointed to.

The Mayor is an ex-officio voting member on all Committees of Council. However, the Mayor may only vote at these meetings if the Committee lacks quorum.

Council's current appointments are outlined in Appendix A. Appendix A may be modified through a motion of Council and does not require an amendment to this policy.

9. COUNCIL APPOINTMENTS TO PARTNER, INTER-MUNICIPAL OR EXTERNAL COMMITTEES AND BOARDS

Council may participate or be required to participate on committees with municipal partners or other partners via request or through inter-municipal service agreements, other service agreements, regional bylaws, or similar documents.

Council may choose to participate in external committees upon request. When considering a request to sit on an external committee, Council will consider the potential value to the Town and the requesting committee's alignment with Council's interests and priorities.

Any invitation to participate in a partner, inter-municipal or external committee will be considered at a Council meeting.

Council will not appoint any members to any committee with a potential conflict of interest or a perceived conflict of interest between the community group or organization and Council.

Councillors appointed to partner, inter-municipal or external committees will report any updates or recommendations that may require Council's consideration.

10. VOLUNTEER PARTICIPATION BY COUNCILLORS

Council members may volunteer their time to serve on external committees not directly affiliated with Council or the Town of Lunenburg. In such cases, they will do so in a personal capacity as volunteers or citizen representatives, independent of their roles as Council members. This volunteer participation is subject to the following conditions:

- Council members must disclose their intent to participate as volunteers to Council, including details of their involvement, before joining the external committee;
- Council members participating as volunteers or citizen representatives must avoid any actions or decisions that create a perceived conflict of interest or compromise their impartiality as Council members; and
- While serving as volunteer or citizen representatives, Council members must clearly state that they do not represent Council's official position or make decisions on its behalf.

11. CITIZEN APPOINTMENTS TO COMMITTEES OF COUNCIL

Citizen committee members must be residents of the Town of Lunenburg. Exceptions can be made by Council if there are insufficient Town resident applicants. In the case of insufficient Town resident applicants, Council may consider applicants from Lunenburg County.

No citizen shall serve concurrently on more than one Council Committee to encourage a broad degree of citizen involvement. Exceptions can be made by Council if there are insufficient applicants.

Citizen members must be at least 18 years old unless Council or the Committee is seeking a youth representative.

Citizen member appoints will be for two-year terms unless otherwise specified in a committee's terms of reference.

Citizen members may serve for up to two consecutive terms. Citizens who have served two consecutive terms are ineligible for reappointment for one calendar year after their most recent term expires unless there are no other qualified applicants. In this case, the citizen may be reappointed three months after their most recent term expires.

Without written approval from the Committee, any member absent from three consecutive committee meetings will cease to be a member.

Town of Lunenburg employees (full or part-time) are not eligible to serve as a member of a Committee of Council.

12. COUNCIL COMMITTEE HONORARIUM

Citizens appointed to a Council Committee may receive an annual honorarium as allocated in the Town's annual operating budget.

13. GENERAL REGULATIONS

Terms of reference for Council Committees and any amendments to a Committee's terms of reference must be approved by a motion of Council.

All committees will meet in accordance with its terms of reference.

When necessary or applicable, following a Council Committee meeting, an appointed councillor will provide a meeting update at the next regularly scheduled Council meeting.

Council Committees will be chaired by an appointed Councillor unless otherwise legislated or voted on by the respective Committee.

Committee meetings, minutes and records are open to the public.

The role of all committees is limited to advising Council. No committee has the power to commit the Town to either spend money or take any particular action.

No committee member will give specific directions to any staff member at any committee meeting. The responsibility for giving specific directions to staff will reside with Council through direction to the Chief Administrative Officer.

14. TOWN RESOURCES

For committee purposes, Council Committees may utilize the following Town resources unless the Chief Administrative Officer determines that there are insufficient resources:

- Town's facilities and supplies for meetings, photocopying, postage and other administrative needs reasonably necessary and budgeted;
- External services or expenses reasonably necessary and budgeted;
- Town staff advice and support; and
- Other resources reasonably necessary and budgeted.

15. COUNCIL'S ROLES AND RESPONSIBILITIES

Council will:

- Appoint citizen members to committees of Council.
- Annually review Council member appointments to all committees.
- Review requests for Council representation on partner, inter-municipal and external committees.
- Approve Terms of Reference for each Committee of Council.
- Provide relevant committee updates at regular Council meetings.

16. CHIEF ADMINISTRATIVE OFFICER (CAO)'S ROLES AND RESPONSIBILITIES

The CAO will:

- Appoint a staff member or members as a liaison/resource member to all committees.
- Review all Council Committees minutes and highlight any items that require Council's attention.
- Help or delegate staff to help develop Terms of Reference for new Council Committees or task forces.
- Designates roles for staff to help administer this policy and administrative procedures.

ADMINISTRATIVE PROCEDURES

Committees Policy

Date approved by CAO: **TBD**



1. STAFF ROLES AND RESPONSIBILITIES

The Municipal Clerk or designate will:

- Publicly advertise vacancies on Committees of Council.
- Keep track of applications and membership terms.
- Maintain application forms.
- Strive to have all committee agendas circulated to committee members and posted for the public one week before a meeting.
- Work with all departments to ensure a recording secretary is available for all committee meetings.
- Ensure that the minutes of each meeting are forwarded to all committee members.
- Maintain all records of Council Committees.
- Provide advice on Committee procedural matters.



Internal Town Committees

- Audit Committee
- Committee of the Whole
- Heritage Advisory Committee
- Planning Advisory Committee
- Protective Services Committee

Inter-Municipal Committees

- Lunenburg County Accessibility Advisory Committee
- Region 6 Solid Waste Management Committee
- REMO Advisory Committee
- South Shore Regional Public Library Board

Partner Committees

- Trustees of Lunenburg Common Lands
- Lunenburg County Seniors Safety Advisory Partnership

External Committees

- Cultural Implementation Group
- Lunenburg Fishermen's Memorial Society
- Harbour View Haven
- Lunenburg Waterfront Association
- South Shore Housing Action Coalition Committee

Subject: Repealing of Policies
From: Kayla Byrne, Municipal Clerk
Reviewed by: Jamie Doyle, CAO
Date: October 10, 2023 – notice
October 24, 2023 – decision



Recommendations:

That Council give notice to repeal the following Town of Lunenburg policies:

1. Audit Procurement
2. Billings for the LDFD Non Fire Emergency Duties
3. Capital Contributions Electric Light
4. Cascade Systems Policy S C B A Air Refill
5. Development Agreements
6. Electric Light Utility Collection Procedure Policy
7. Emergency Spills Response
8. Fire Extinguisher Training
9. Information Technology Use
10. Loan of Town Equipment and Use of Town Labour by Outside Organizations
11. Motor Vehicle Evaluation and Replacement
12. Planning Applications
13. Public Works Department Risk Management
14. Recreation Dept Risk Management Strategy
15. Water Testing Procedure
16. Water Utility Collection Procedure Policy Statement
17. Complaints Process Policy
18. Installation and Verification of Water Electric Meters and Billing
19. Parking Meter Fees

Background

Staff are conducting a review of all Town policies and bylaws. In reviewing policies, staff have found that many of the Town's policies are procedural– they are internal staff procedures and not necessarily high-level policies of Council. A policy is what Council aspires to do, while administrative procedures are how staff carry out daily work duties or how policies are operationalized. Many of the Town's existing policies are not aspirational but just procedures.

Discussion

Staff identified the following 19 policies as ones that should be repealed because they are outdated or standard operating procedures and not high-level policies of Council. All policies

being proposed to be repealed have been reviewed and agreed upon by the CAO and department directors.

Policy	Rationale
Audit Procurement	The MGA requires that municipalities appoint a registered auditor for the municipality. Outside of the rules of the Procurement Policy, the procurement of an external auditor is a staff procedure and does not require a Council policy.
Billings for the LDFD Non Fire Emergency Duties	This is outdated and is no longer used. Any possible non-emergency service requests may be considered case-by-case with the Lunenburg and District Fire Department.
Capital Contributions Electric Light	These procedures are outlined in the electric utility regulations and do not require a Council policy.
Cascade Systems Policy S C B A Air Refill	These are staff procedures for restocking equipment at the Lunenburg and District Fire Department. This does not require a Council policy.
Development Agreements	This is an internal staff procedure and does not require a Council policy.
Electric Light Utility Collection Procedure Policy Statement	These procedures are outlined in the electric utility regulations and do not require a Council policy.
Emergency Spills Response	This is outdated and does not require a Council policy. Town management will ensure emergencies are handled safely and efficiently using staff and third-party resources when required. Health and safety protocols are internal procedures.
Fire Extinguisher Training	This training is not widely offered, and any related request would be handled directly by the Lunenburg & District Fire Department.
Information Technology Use	This procedure and agreement can be used internally when staff are hired and new council members are elected. However, this does not need to be a Council policy.
Loan of Town Equipment and Use of Town Labour by Outside Organizations	This policy was created in 1993 and is similar to the Town Equipment Loan and Use Policy (2019). The 2019 policy should have replaced this policy.
Motor Vehicle Evaluation and Replacement	This is an internal staff procedure and does not require a Council policy.
Planning Applications	This is an internal staff procedure and does not require a Council policy.
Public Works Department Risk Management	This is an internal staff procedure and does not require a Council policy. Each department will still have its risk management protocols and adhere to best practices, however, this does not require a Council policy.

<u>Recreation Dept Risk Management Strategy</u>	This is an internal staff procedure and does not require a Council policy. Each department will still have its risk management protocol and adhere to best practices, however, this does not require a Council policy.
<u>Water Testing Procedure</u>	Public Works adheres to all forms of required testing. The Town does not need a policy to dictate how required testing will take place. This is an internal procedure.
<u>Water Utility Collection Procedure Policy Statement</u>	These procedures are outlined in the electric utility regulations and do not require a Council policy.
<u>Complaints Process Policy</u>	How complaints are handled may be specific to each situation and is at the discretion of the employee's supervisor and, when necessary, the department director and CAO. This is an internal staff procedure and does not require a Council policy
<u>Installation and Verification of Water Electric Meters and Billing</u>	Ensuring that electric and water utility meters are correctly installed and read is an internal staff procedure and does not require a Council policy.
<u>Parking Meter Fees</u>	This is a motion of Council, not a policy. Repealing this policy will not void Council's motion.

Strategic Plan Relevance

Internal Operations: Undertake a policy, procedure and bylaw review to enable implementation of CCP.

Relevant Legislation

Municipal Government Act (MGA): As per the MGA, there must be seven days' notice before a policy is approved, amended or repealed.

Financial

There are no financial impacts related to repealing these policies.

Communications

If approved the repealed policies will be removed from the Town's website and update will take place within internal records management processes.