

HERITAGE ADVISORY COMMITTEE MEETING AGENDA

TOWN OF LUNENBURG

Wednesday, January 21, 2026, at 6 pm

Council Chamber, 120 Townsend St.



NOTICE: Heritage Advisory Committee meetings are open to the public and held in Town Hall. Please use the back entrance at 120 Townsend Street.

1. CALL TO ORDER

2. LAND ACKNOWLEDGEMENT

This meeting takes place in the traditional and ancestral territory of the Mi'kmaq people. We are all Treaty people.

3. APPROVAL OF AGENDA

Recommendation: That the Heritage Advisory Committee approve the agenda for the January 21, 2026, meeting as presented.

4. APPROVAL OF MINUTES

Recommendation: That the Heritage Advisory Committee approve the minutes of the November 13, 2025, meeting as presented.

5. NEW BUSINESS

5.1 Verbal Update – Motion Clarification

5.2 Staff Report and Discussion – Alterations and Additions, 162 Pelham

5.3 Staff Report and Discussion – Outbuilding Removal and New Residential, 202 York Street

6. ROUNDTABLE

7. NEXT MEETING

6.1 TBD

8. ADJOURNMENT



**HERITAGE ADVISORY COMMITTEE MEETING MINUTES
TOWN OF LUNENBURG**

November 13, 2025 | 6 pm
Lunenburg Town Hall - Council Chamber

- Present Councillor Alison Strachan(Chair)
Faune Creaser, Citizen Representative
Nathalie Irving, Lunenburg Heritage Society Representative
Oliver Osmond, Lunenburg Heritage Society Representative
Philip Mitchell, Citizen Representative
- Also present Laura LeGresley, Heritage Officer
Marc Kiely, Director of Community Development
- Absent Councillor Renea Babineau
- Call to Order The Chair called the meeting to order at 6:00 p.m.
- Land Acknowledgment The Chair recognized Lunenburg’s location on the unceded territory of the Mi’kmaq people.
- Approval of the agenda Moved and seconded that the Committee approve the agenda for the November 13, 2025 meeting as presented.
Motion carried unanimously
- Approval of Minutes Moved and seconded that the Committee approve the minutes of the August 27, 2025, meeting.
Motion carried unanimously
- New Business;
*Opera House
Enclosed Elevator
Addition and
Accessible Entrance* Applicant for Opera House (Fathom Architecture and board member, Tom McFall) provided a presentation of the application for the addition of the enclosed elevator shaft and accessible entrance to the Opera House.

Staff provided an overview of the evaluation of the application against the HCD Plan and Bylaw.

Committee Discussion highlights include:
 - The committee acknowledged that while the proposed bump-out will result in the loss of a parking space, the accessibility benefits significantly outweigh this impact.
 - Members noted that similar concrete bump-outs already exist at King Street and Montague Street, and viewed this proposal

as a positive precedent- an opportunity for the town to push boundaries constructively, advance accessibility, and model leadership for other communities.

- The committee emphasized the need to consider neighbouring properties and any potential impacts.
- Members highlighted that the proposal represents a meaningful win: it not only exceeds minimum accessibility requirements but also enables inclusive use of the main historic entrance while respecting the building's heritage aesthetics.
- The committee further recognized that enhanced accessibility is essential to the long-term sustainability and full, continued use of the building.
- The committee acknowledged the significant constraints created by the property lines and the building's placement, noting that these limitations shape feasible design options, including differing views on the elevator shaft, some finding it somewhat stark or bleak, while another considered it a strong solution given the circumstances.
- A member encouraged the applicant to consider full accessibility to the space in a broader sense, while recognizing that this extends beyond the committee's heritage mandate.
- The committee referenced the CCP principle of *Living Heritage*, emphasizing a holistic approach that keeps heritage relevant, evolving, and rooted in community life. This principle supports accommodating contemporary needs within Old Town's cultural landscape without compromising significant heritage resources and recognizes that the cultural heritage of Lunenburg Bay continues to evolve through the people who live and work here.
- Members also emphasized the building's importance as a cultural tourism asset for both the community and visitors, reinforcing the value of ensuring its continued accessibility and vitality.

In reviewing all factors, the Committee agreed that the proposed alterations support the long-term use and accessibility of the Opera House and can be undertaken without compromising its significant heritage values.

New Business;
*66 Pelham Facade
Alterations and
Additions*

- Members observed that previous changes to the building have diminished its heritage character and agreed that the proposed façade alterations would help restore and strengthen that character.
- The committee also noted that some of the existing window

openings no longer reflect the building's original design, and therefore adjustments to these areas were seen as reasonable and appropriate.

The Committee's consensus is supportive of the proposed changes.

New Business;
158 Lincoln
Additional Door
Opening

- The committee acknowledged that building code requirements take precedence over the Heritage Conservation District By-law, supporting the replacement of the window with a door to ensure compliance.
- Members noted the importance of the primary façade in the downtown core but recognized that, without more detailed information from the applicant, they could not comment on the door style, trim, or other design elements.
- The committee also highlighted the sense of balance on the upper storeys and suggested that, ideally, the new door should be compatible with the existing door on the left side of the façade.

The Committee's consensus is supportive of the replacement in principle for building code compliance but require more detailed information on the door design to provide full approval.

Staff Updates

Staff updates (5.4 and 5.5) included:

- Marc Kiely and Laura LeGresley presented on behalf of the Town of Lunenburg at the National Trust for Canada Conference in October 2025
- TOL will be hosting a celebrating to commemorate 30 Years as a UNESCO World Heritage Site, Thursday December 4th at 6pm at the Lunenburg Academy

Next meeting

The next meeting date was not set.

Adjournment

There being no further business, the November 13, 2025 Committee meeting adjourned at 8:37 p.m.

Subject: Alterations and Addition to Residential Building, 162 Pelham Street

Prepared by: Laura LeGresley, Heritage Officer

Date: January 21, 2026



Recommendations

That the Heritage Advisory Committee support the proposed alterations and additions at 162 Pelham Street, as they align with the Heritage Conservation District Bylaw

That the Heritage Advisory Committee not support the proposed alterations and additions at 162 Pelham Street

That the Heritage Advisory Committee support the proposed alterations and additions at 162 Pelham Street, except for the addition of a shed dormer, which the Committee finds may adversely impact the character-defining roof form.

Background

The applicant proposes a series of alterations and additions to the existing residential building located at 162 Pelham Street, a residential character-defining structure within the Heritage Conservation District (HCD).

The proposed scope of work includes:

- The construction of a side porch addition;
- Alterations to the rear façade, including the removal and replacement of existing window openings and the introduction of new double door replacing a window opening;
- The addition of new windows on the side façade, wrapping from the rear kitchen area;
- The expansion of the existing rear deck along the full width of the rear façade; and
- The addition of a shed dormer on the rear roof slope.

The subject property is subject to the provisions of the Heritage Conservation District By-law, specifically Sections 5.5 (*Additions to Residential Character-Defining Structures*), 5.5.2 (*New Wings and Additions*), 5.5.3 (*New Dormers*), 5.5.4 (*New Windows and Doors*), 5.5.5 (*New Decks*) and 5.6 (*Alterations to Residential Character-Defining Structures*). The proposal has been reviewed for compatibility with the character-defining building and to ensure that alterations and additions minimize impacts on heritage value and visibility from the public realm.

Under Policy 41 of the Town's Heritage Conservation District By-law, the Heritage Officer may refer any proposal requiring a Certificate of Appropriateness to the Heritage Advisory Committee for comment.

Discussion

Side Porch Addition

The applicant proposes the construction of a side porch addition to the residential character-defining building. The porch is located to the side of the structure, is offset from the principal façade, and is designed to remain clearly subordinate in height and massing to the main building.

The porch addition complies with the overarching guidelines for additions, which require that additions be physically, visually, materially, and stylistically compatible with, subordinate to, and distinguishable from the character-defining building upon close inspection. The porch follows the existing siding, trim profiles, and detailing of the main building and incorporates a hipped roof that is complementary to the existing gambrel roof. The porch roof is lower than the main roofline, reinforcing its subordinate nature.

Rear Façade Alterations

Alterations are proposed to the rear (non-public) façade of the building. Existing openings include one large picture-style window and a second window with proportions similar to those found elsewhere on the building. The applicant proposes to remove these windows and replace them with a wall of windows and one door, with the new openings designed to reflect the proportions, glazing style, and detailing found elsewhere on the dwelling.

Section 5.6.2 of the Heritage Conservation District By-law generally prohibits changes to the dimensions, detailing, and placement of historic windows, as well as the blocking or removal of historic window and door openings. In this case, staff do not consider the existing rear façade windows to be historic or character-defining. The large picture-style window does not reflect traditional window proportions or detailing, and the rear façade does not constitute a principal or publicly visible elevation.

In addition, the applicant proposes to convert an existing rear window at the main level into a double door. Given the rear-facing location and the compatibility of the proposed door design with existing openings, staff do not consider this alteration to adversely affect the heritage character of the building.

Staff are of the opinion that the proposed alterations will not compromise the heritage value or integrity of the character-defining structure. The replacement windows and door reinforce traditional proportions and detailing and improve architectural consistency with the rest of the building.

Side Façade Window Additions

The proposal includes the addition of two windows on the side façade, extending the proposed window alterations around the building from the rear elevation.

The proposed windows comply with Section 5.5.4 (New Windows and Doors) of the Heritage Conservation District By-law. The windows respect the proportions, detailing, and glazing style of existing openings, are horizontally and vertically aligned with nearby windows, and continue the established rhythm and pattern of window openings on the building. As such, the proposed windows are compatible with the residential character-defining structure.

Rear Deck Expansion

The applicant proposes to expand the existing rear deck so that it extends the full length of the rear façade. The expanded deck will match the existing guardrail in style and finish and will be constructed of wood, consistent with the materials required by the Heritage Conservation District By-law.

Rear Roof Addition – Shed Dormer

The proposal includes the addition of a shed dormer on the rear roof slope. The existing building features a gambrel roof with elongated shed-like elements that extend along the length of the roof. These elements may be interpreted either as dormers or as components of the primary roof form.

The Heritage Conservation District By-law states that dormers, including existing dormers, shall not exceed one-third (1/3) of the structure's total roof area. If the existing shed-like elements are interpreted as dormers, the roof area would already exceed this threshold. However, if these elements are interpreted as part of the gambrel roof form, the proposed dormer would fall within the permitted roof area.

The proposed dormer is located entirely on the rear elevation, consistent with Section 5.5.3(h), which encourages larger shed dormers to be located at the rear of residential character-defining structures to preserve the architectural integrity of the principal façade. The dormer is not visible from the public realm and is designed to remain subordinate to the primary roof form.

Given the ambiguity in defining the existing roof elements, the rear-facing location of the proposed dormer, and its limited visual impact, staff are of the opinion that the proposed dormer is consistent with the intent of the Heritage Conservation District By-law and does not adversely affect the heritage character of the building.

Strategic Plan Relevance

Heritage: *Preserve the valuable heritage resources of Lunenburg while embracing an ongoing landscape evolution.*

Relevant Legislation

Old Town Lunenburg Heritage Conservation District Plan and Bylaw

Nova Scotia Heritage Property Act

Attachments

Appendix A – Application Package



**TOWN OF LUNENBURG
HERITAGE, DEVELOPMENT PERMIT AND ENCROACHMENT LICENSE APPLICATION FORM**

Date: Nov 26 2025

Civic Address: 162 Pelham St. Lunenburg

PID: 60061686 ZONE: _____ HCD ARCH CONTRL MuDesHER

Applicant Information:

Name: _____

Mailing Address: _____

Telephone: _____ Cell: _____ Fax: _____

Email: _____

Property Owner Information: Same as applicant/owner

Name: _____

Mailing Address: _____

Telephone: _____ Cell: _____ Fax: _____

Email: _____

Proposed Use and Construction:

Current use:

- Single-unit dwelling Describe: single family home
- Multiple occupancy Describe: _____
- Commercial Describe: _____
- Institutional Describe: _____
- Other Describe: _____

Proposed use:

- No change
- Change to _____

Proposed scope of project:

1. add side entry porch
add shed dormer to attic
replace kitchen windows
2. extend back porch into back deck
change back window to door to deck

Contractor Information: Same as applicant; or

Name: [Redacted] Telephone: _____

Email: [Redacted]

Documentation attached:

- Location Plan showing distances to lot lines
- Photograph of existing conditions
- Elevation drawings
- Other _____

Permits/Fees:

- Old Town Heritage Certificate of Appropriateness (free)
- Heritage Permit (free)
- Development Permit (free)
- Encroachment License (\$100.00 plus HST)
- Indemnification Agreement for a portable/sandwich board sign

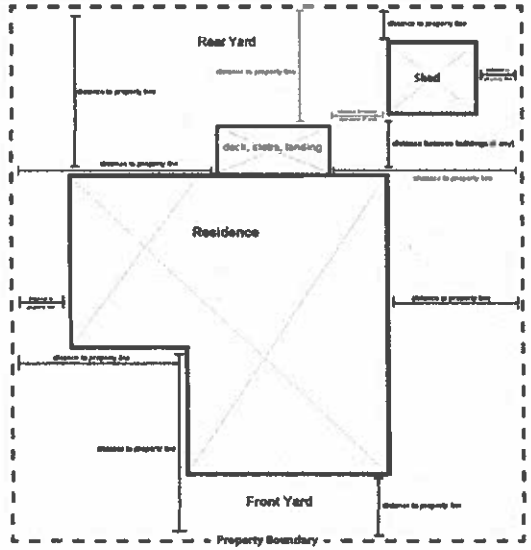
Applicant Declaration:

I solemnly declare:

1. That I am the authorized agent of the owner/the owner named in this application for a permit.
2. If the owner is a corporation or partnership, I have the authority to sign for the corporation or partnership.
3. That the plans and specifications submitted are prepared for the construction or alteration of the building or buildings described.
4. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge and made with a full knowledge of the circumstances connected with the same.
5. It is clearly understood by the undersigned that this is only an application and does not authorize the applicant to proceed with any work until all required permits are issued.
6. It is clearly understood by the undersigned that the changes in the design must be submitted for approval prior to construction.

Signature of Authorized Applicant [Redacted] Date: Nov 26/25

Sample Location Plan:



Office Use only:

Encroachment (GENC)



BUILDING PERMIT APPLICATION FORM

Town of Lunenburg
Planning & Development Services
119 Cumberland St., Lunenburg, NS B0J 2C0
TEL (902) 634-4410 FAX (902) 634-4416

PROPERTY INFORMATION

Location: 162 Pelham St.
(Civic Number, Street Name)

Property ID: 60061686

Zone: ___ HCD: ArchCntrl: MunDesHer:

Check all that Apply:

- Building Permit
- New Construction
- Addition
- Renovation
- Change of Use (_____ to _____)
- Deck
- Demolition

OWNER INFORMATION (REQUIRED)

Owner: [REDACTED]

Mailing Address: [REDACTED]

City/Postal Code: [REDACTED]

Telephone: [REDACTED]

Email: [REDACTED]

APPLICANT / COMPANY (IF NOT PROPERTY OWNER)

Address: _____

City/Postal Code: _____ / _____

Telephone: _____

Email: _____

LOT / STRUCTURE USE

Present Use of Land and an Existing Structure(s):

single family home

Describe the New Construction or New Use:

- porch expanded to be a deck
- added dormer window to attic
- added side porch
- replaced window w/ door
- replace kitchen windows

ADDITIONAL INFORMATION

Size: Length _____ X Width _____ X Height _____
Total Square Footage _____ Stories _____

Building Permit Applications must be accompanied by **STRUCTURAL DETAILS** and a **LOCATION PLAN** before they will be reviewed by a Building Official.

- Location Plan
- Structural Details
- Building Plans

Other documents may be required based on the type of project, such as engineering or detailed drawings.

- Other _____
- Other _____

APPLICATION FEES

BUILDING/OCCUPANCY PERMIT:

Construction Value (materials and labour) \$ 75000 X 0.002 = \$ 150 + \$62.30 = Total Permit fee

212.30

BUILDING/OCCUPANCY PERMIT (DECK AND STAIRS ONLY):

Construction Value (materials and labour) \$ _____ X 0.002 = \$ _____ + \$31.20 = Total Permit fee \$ _____

TEMPORARY BUILDING/OCCUPANCY PERMIT: \$46.75

BUILDING PERMIT RENEWAL: \$15.75

DEMOLITION PERMIT: \$31.20

APPLICATION AUTHORIZATION

I hereby certify:

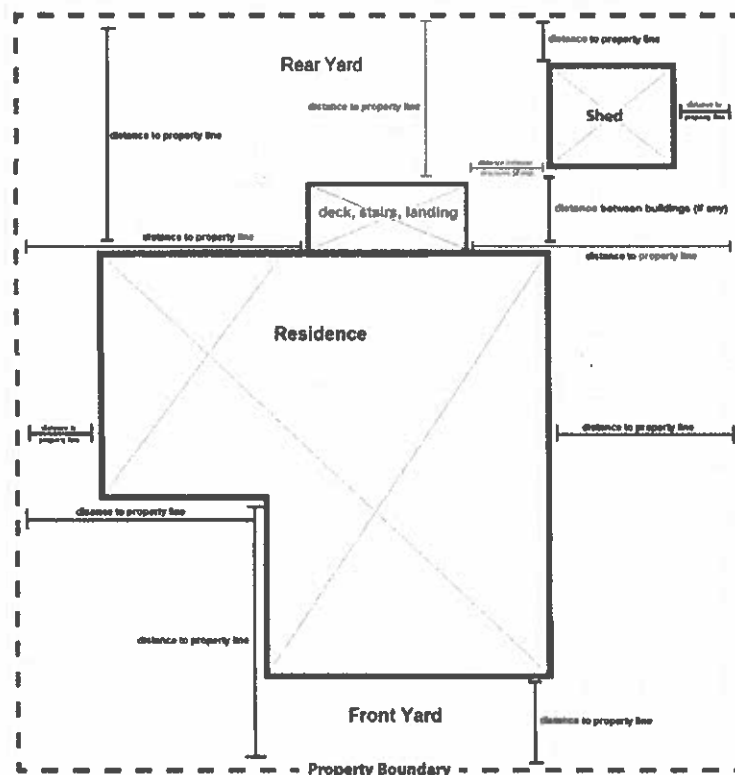
1. That I am the owner/duly authorized agent of the land on which this building /development is proposed;
2. That the statements herein contained are true; and
3. That the plan and specifications submitted are prepared for the construction or alteration of the

Nov 26 / 21

Owner/Agent's Signature

Date

Sample Location Plan:



Office Use Only:

Building/Occupancy Permit	GBLP
plus .2% of value of construction/materials/labour	GLPP
Building Permit – Deck and Stairs	GBLD
plus .2% of value of construction/materials/labour	GLPP

Temporary Building/Occupancy Permit	GBLT
Demolition Permit	GDEM
Building Permit Renewal	GBLR



DRAWING LIST

Sheet Number	Sheet Name
A000	- Cover Sheet
A101a	- Site Plan
A103	- Basement Floor Plan EXISTING
A104	- Basement Floor Plan PROPOSED
A105	- Main Floor Plan EXISTING
A106	- Main Floor Plan PROPOSED
A107	- Second Floor Plan EXISTING
A108	- Second Floor Plan PROPOSED
A109	- Attic Floor Plan EXISTING
A110	- Attic Floor Plan PROPOSED
A201	- Elevations - EXISTING
A202	- Elevations - PROPOSED
A301	- Sections - PROPOSED
A302	- Sections - PROPOSED

NEW GARAGE / HOUSE RENOVATION

162 Pelham Street
Lunenburg, Nova Scotia

The Builder is responsible to check and verify all dimensions on this plan for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.

Our plan drawing sets do not take into account site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.

No warranties are either expressed, implied, or guaranteed by this document. It is assumed that the builder has a good knowledge of building physics and the construction techniques necessary to prevent building degradation.

Client:

Sally Sotnek

2025 Dec 2

DESIGN DOCUMENTS
ISSUED FOR PERMIT

GENERAL NOTES

1. All work is, at a minimum, to be completed in accordance with the National Building Code of Canada, latest edition, and in accordance with all other applicable codes, bylaws, and other legal requirements.
2. All Federal, Provincial, and local ordinances, etc., shall be considered as part of the specifications for this building and shall take precedence over anything shown, described, or implied, if and when variances occur.
3. The Builder is to check and verify all drawings for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
4. Structural lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
5. Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
6. This drawing does not take into account unknown site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, etc.
7. Remove all demolition debris and construction waste from the site except material and items specifically noted by the Owner to be left on site. Job site is to be left broom clean when the contract is complete.
8. Structural engineering, if required, by others.

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**Sally Sotnek
NEW GARAGE /
HOUSE RENOVATION**

162 Pelham Street
Lunenburg, Nova Scotia

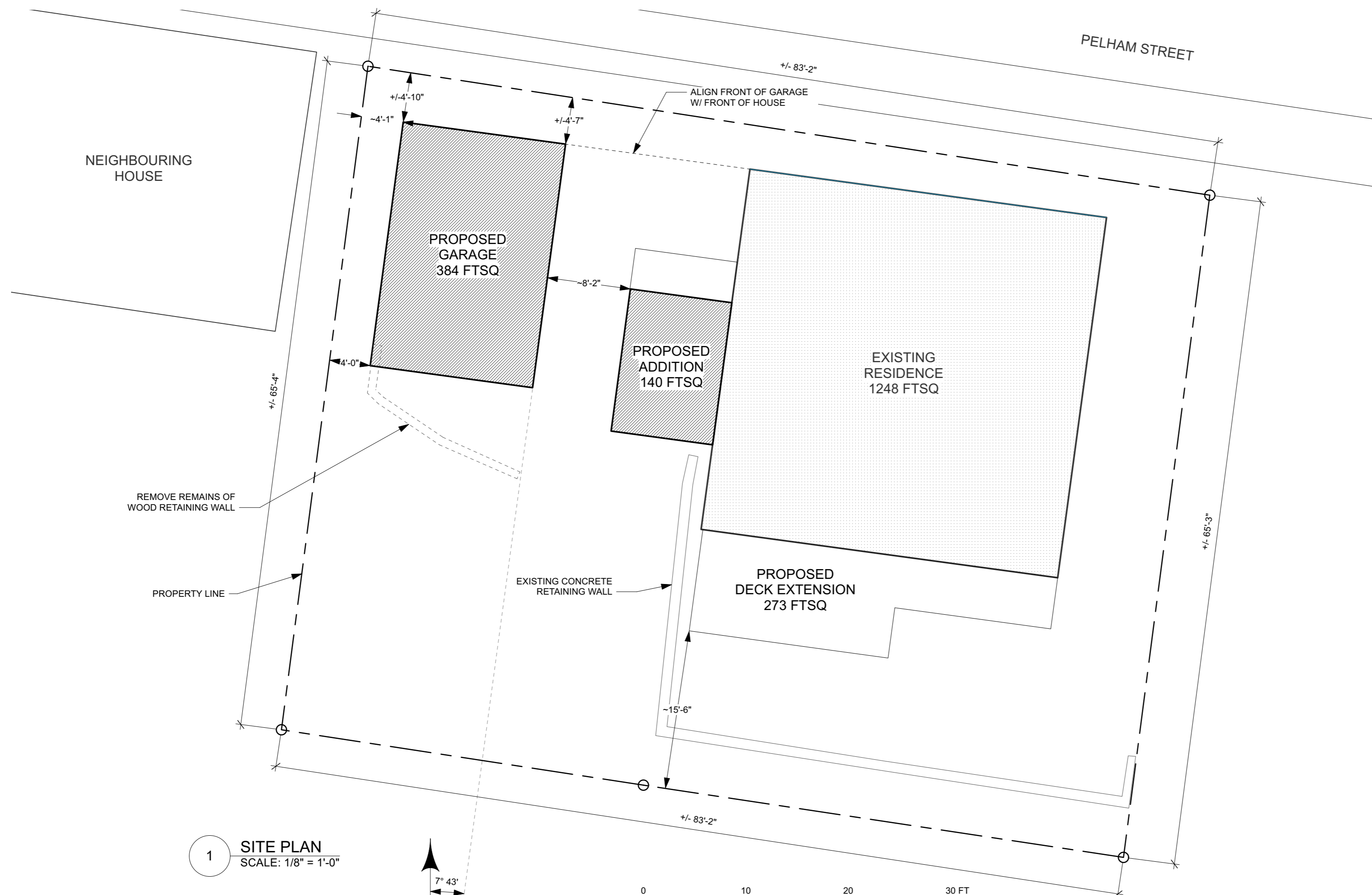
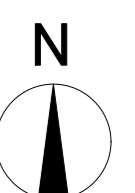
DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

Site Plan

Drawn By: ZA Checked By: ZM

A101a



1 SITE PLAN
SCALE: 1/8" = 1'-0"



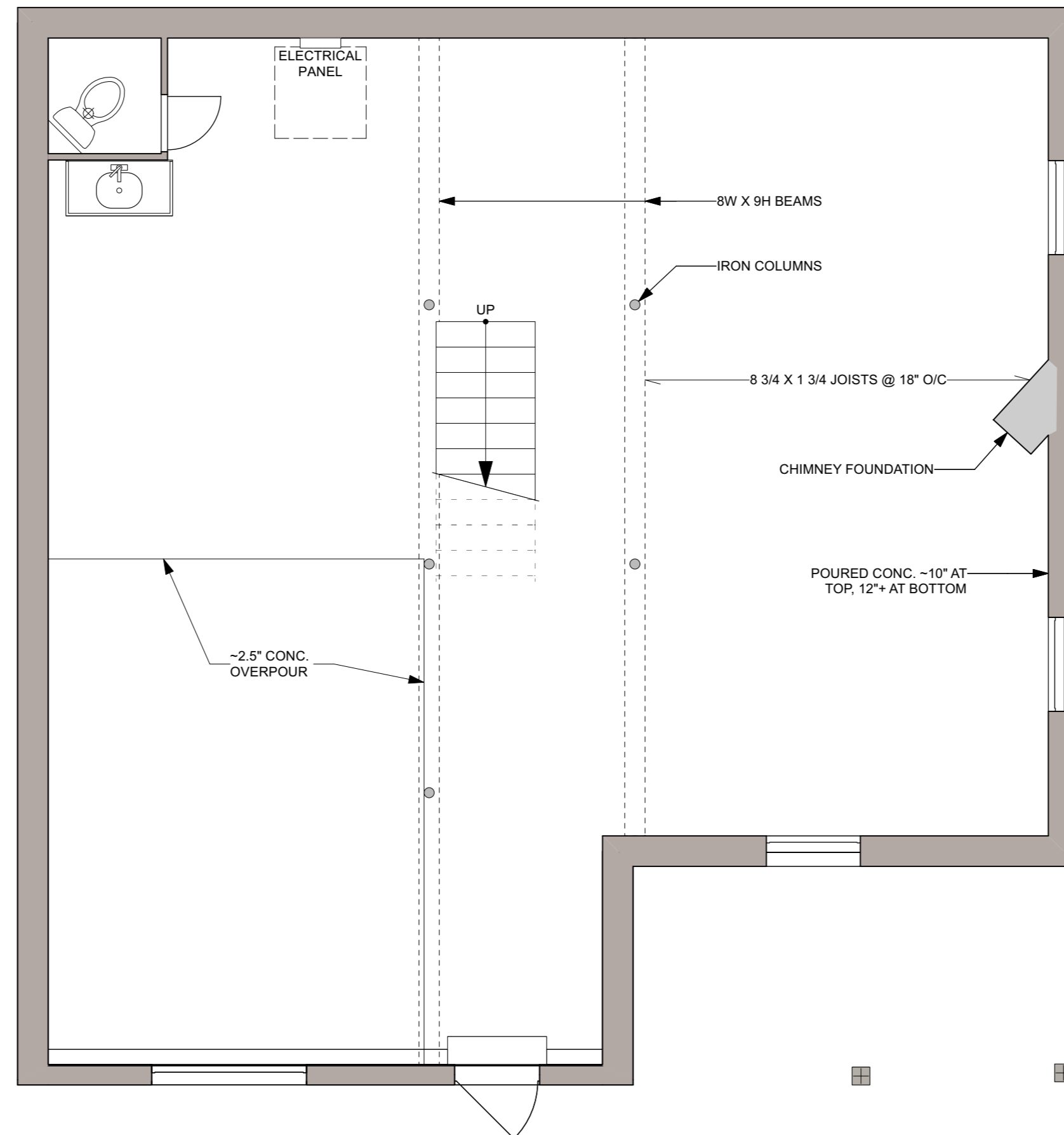
SITE INFORMATION

SITE LOCATION: 162 Pelham Street
Lunenburg, Nova Scotia
PID: 60061686

	AREA (SQ.M.)	AREA (SQ.FT.)
LOT SIZE:	504.4	5,429
FOOTPRINT (HOUSE+GAR):	151.6	1,632
GARAGE / OUTBUILDINGS:	35.7	384
EXISTING LOT COVERAGE	23%	23%
PROPOSED LOT COVERAGE	30%	30%

SITE NOTES

1. This plan is provided to facilitate permit application. Site information used in producing this plan is obtained from Berrigan Surveyors and was provided by the owner, Passive Design Solutions does not warrant the information provided on this plan.
2. The Builder is responsible to check and verify all dimensions on this plan for compliance with local building and zoning requirements and report any discrepancies prior to commencing construction.
3. This drawing set does not take into account site conditions such as soil bearing capacity, water tables, depth of bedrock, buried structures, local grading, etc.
4. Landscaping must ensure positive drainage of storm water from around the building. A minimum slope of 1/2":1' away from the dwelling is required for the first six feet. All other constructed grades are to be minimum 2% and maximum 3:1.
5. Minimum vertical distance from underside of framing to finished grades is 8" except at garage doors.



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

MEASURED DRAWING NOTES

1. This measured drawing represents the state of the building as of September 17, 2025.
2. Confirm ALL dimensions on site.
3. Measured drawing may not take into account elements that are not square, plumb, or level.
4. Wall thicknesses may vary.
5. For new windows and doors in existing openings, including inserts, supplier or installer is to take exact measurements on site.
6. Trim elements may not be shown.
7. Electrical and mechanical fixtures not shown.

GENERAL NOTES

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4. Structural lumber is to be No. 2 SPF or better, or the equivalent manufactured lumber product.
5. Design and engineering of manufactured wood structural members, including floor joists, roof trusses, beams, columns, and lintels, to be by supplier.
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8. Structural engineering, if required, by others.

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**Sally Sotnek
NEW GARAGE /
HOUSE RENOVATION**

162 Pelham Street
Lunenburg, Nova Scotia

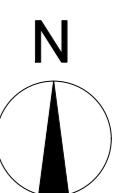
DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

**Basement Floor Plan
EXISTING**

Drawn By: ZA Checked By: ZM

A103



GENERAL NOTES

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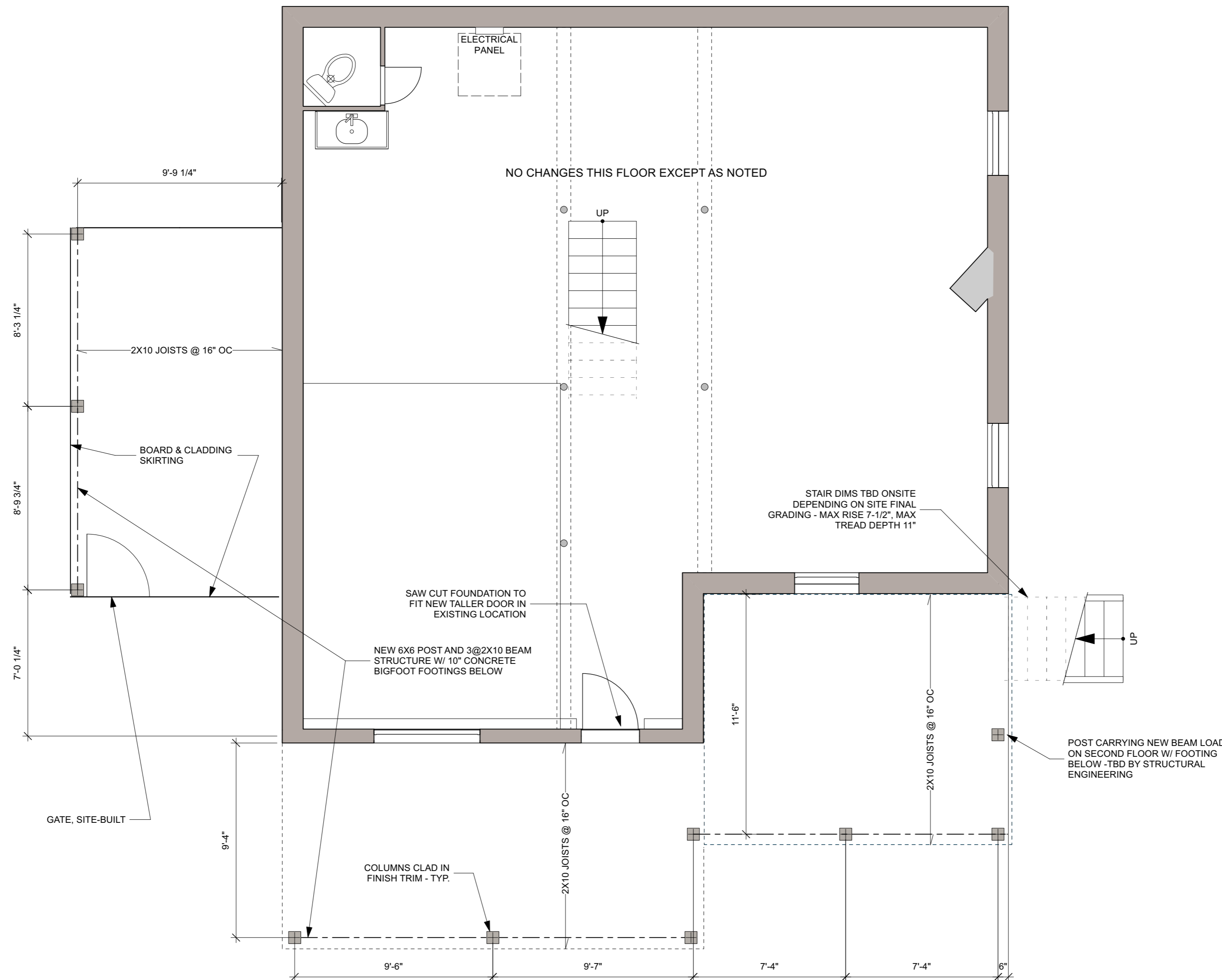
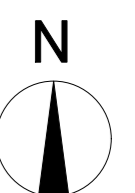
DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

**Basement Floor Plan
PROPOSED**

Drawn By: ZA Checked By: ZM

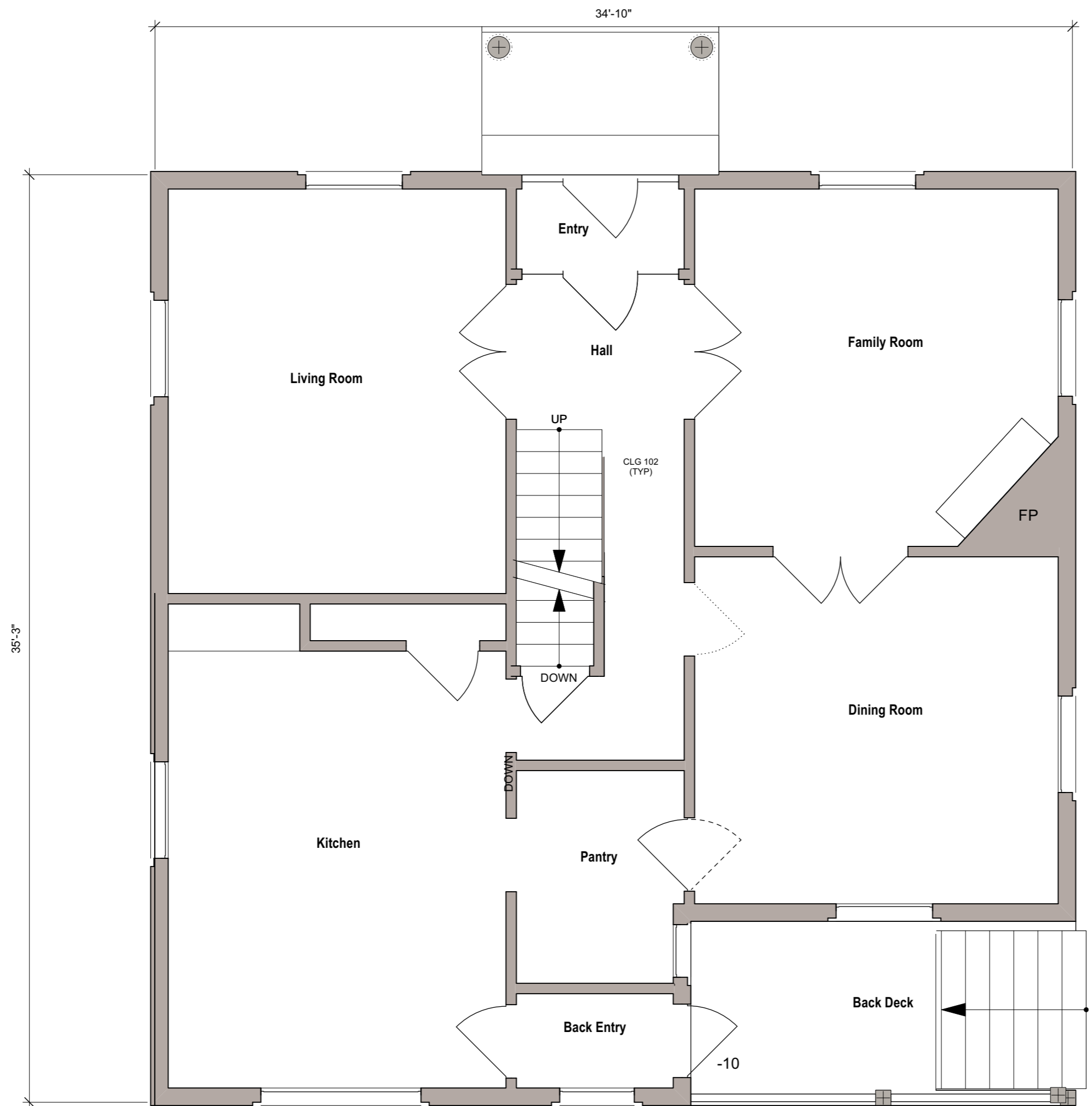
A104



1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES

1. All dimensions shown are to the face of finishes.
2. All interior finishes are t.b.c. by Owner- trim assumptions and suggestions are as shown in interior finish schedule on this page.
3. Confirm all floor to floor heights and stair dimensions on-site, prior to framing.
4. If present, stairs are dimensioned to the face of risers or edge of opening, exclusive of trim and nosings.
5. Framed openings are to be trimmed similar to doors with similar head height unless noted otherwise.
6. Millwork is dimensioned to face of cabinets.
7. Millwork materials, construction, and finishes are to be designed by others and approved by Owner before starting construction.
8. Framing design assumes 3-1/2" trim on interior doors.
9. Bath room sinks, mirrors, & light fixtures are to align with one another.
10. If shown, for acoustically insulated walls seal all joints & sills & holes for air-tightness.
11. Install smoke and CO detectors as required by Code.



1 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

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- Structural engineering, if required, by others.

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**Sally Sotnek
NEW GARAGE /
HOUSE RENOVATION**

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Lunenburg, Nova Scotia

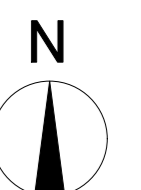
DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

**Main Floor Plan
EXISTING**

Drawn By: ZA Checked By: ZM

A105



MEASURED DRAWING NOTES

- This measured drawing represents the state of the building as of September 17, 2025.
- Confirm ALL dimensions on site.
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- Trim elements may not be shown.
- Electrical and mechanical fixtures not shown.

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8. Structural engineering, if required, by others.

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**Sally Sotnek
NEW GARAGE /
HOUSE RENOVATION**

162 Pelham Street
Lunenburg, Nova Scotia

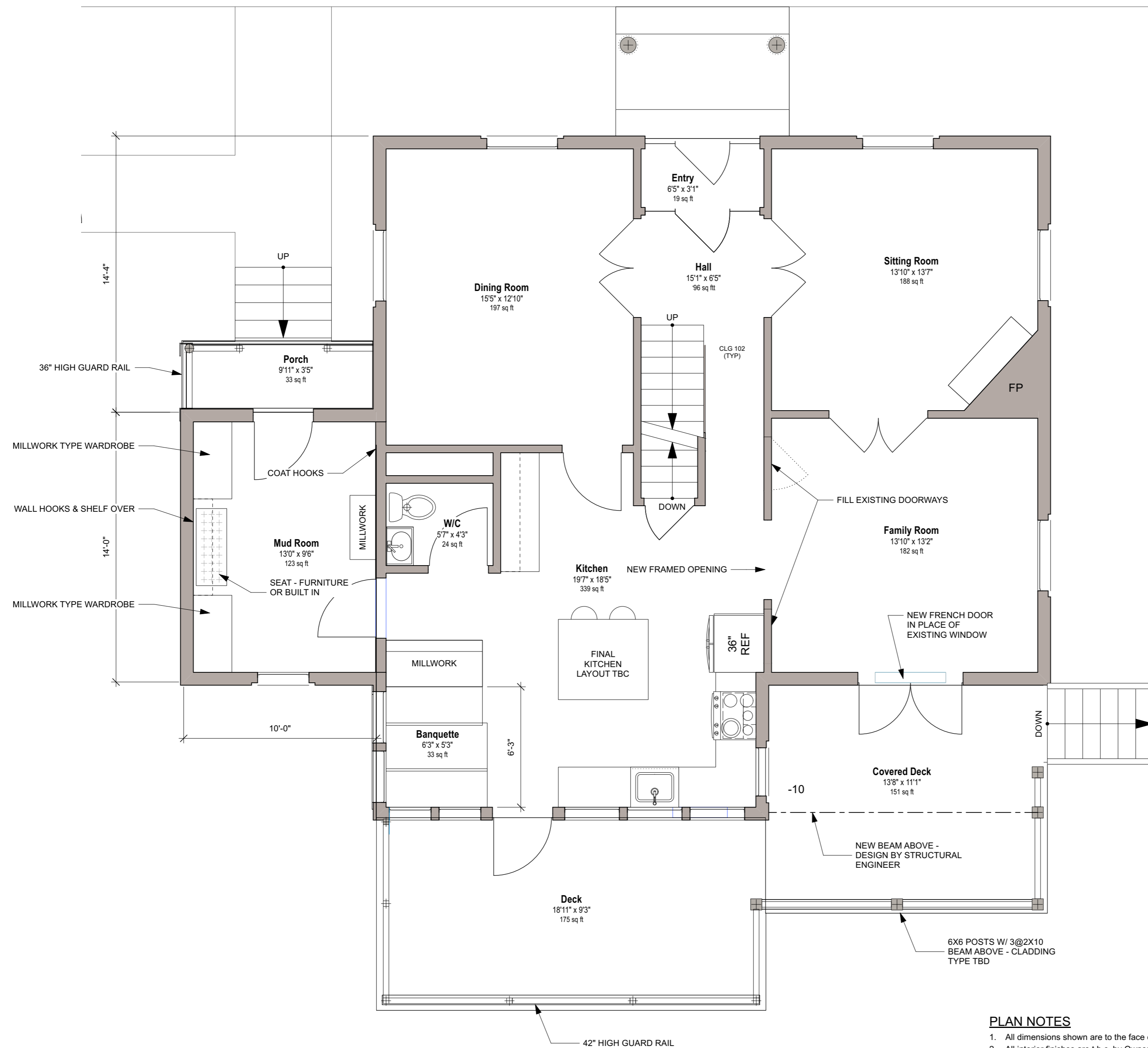
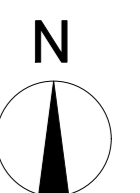
DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

**Main Floor Plan
PROPOSED**

Drawn By: ZA Checked By: ZM

A106



1 MAIN FLOOR PLAN PROPOSED
SCALE: 1/4" = 1'-0"
LIVING AREA: 1,396 SQ.FT.

PLAN NOTES

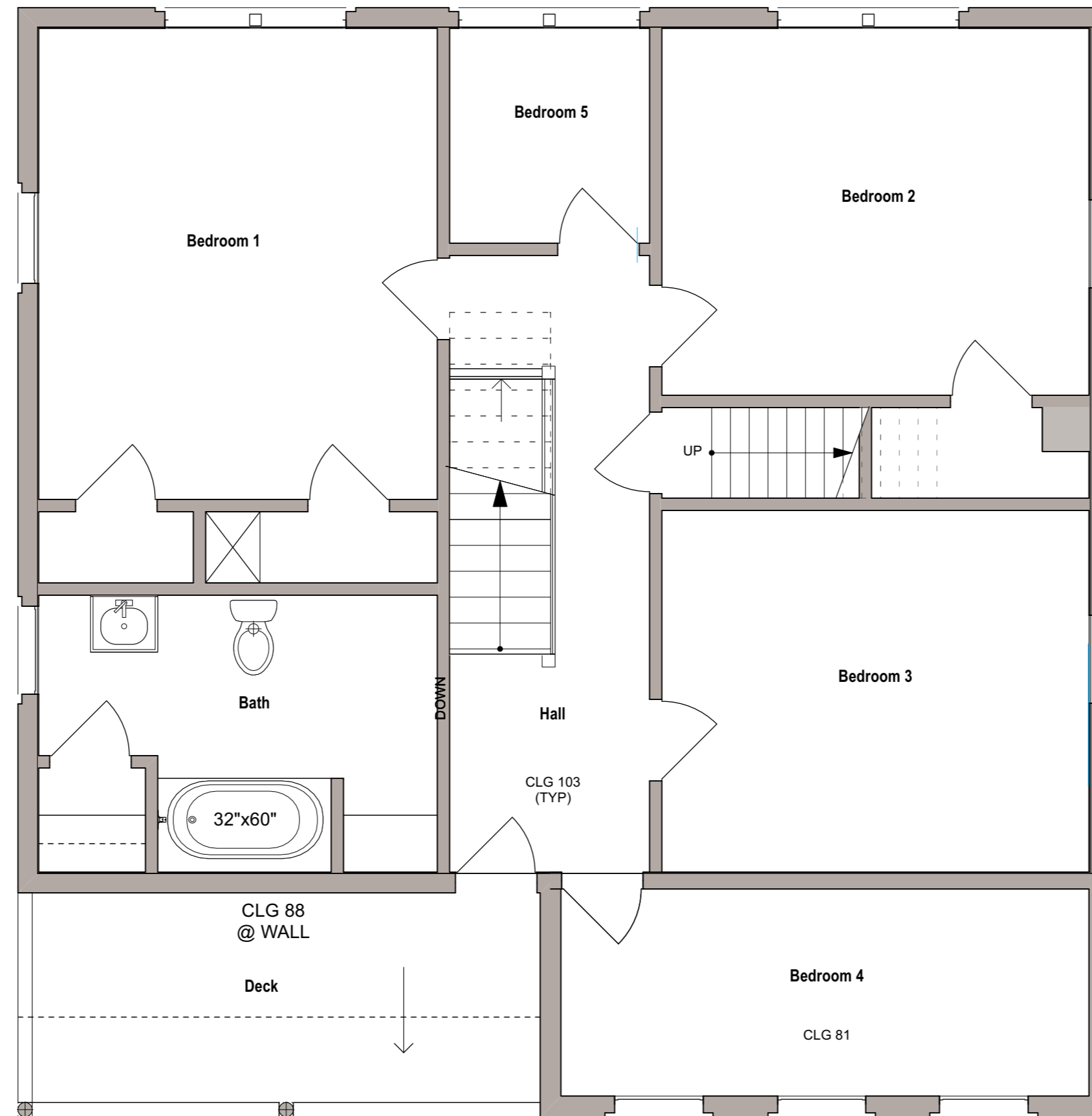
1. All dimensions shown are to the face of finishes.
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5. Framed openings are to be trimmed similar to doors with similar head height unless noted otherwise.
6. Millwork is dimensioned to face of cabinets.
7. Millwork materials, construction, and finishes are to be designed by others and approved by Owner before starting construction.
8. Framing design assumes 3-1/2" trim on interior doors.
9. Bath room sinks, mirrors, & light fixtures are to align with one another.
10. If shown, for acoustically insulated walls seal all joints & sills & holes for air-tightness.
11. Install smoke and CO detectors as required by Code.

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1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

MEASURED DRAWING NOTES

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7. Electrical and mechanical fixtures not shown.

**Sally Sotnek
NEW GARAGE /
HOUSE RENOVATION**

162 Pelham Street
Lunenburg, Nova Scotia

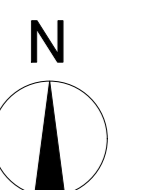
DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

**Second Floor Plan
EXISTING**

Drawn By: ZA Checked By: ZM

A107



GENERAL NOTES

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NEW GARAGE /
HOUSE RENOVATION**

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Lunenburg, Nova Scotia

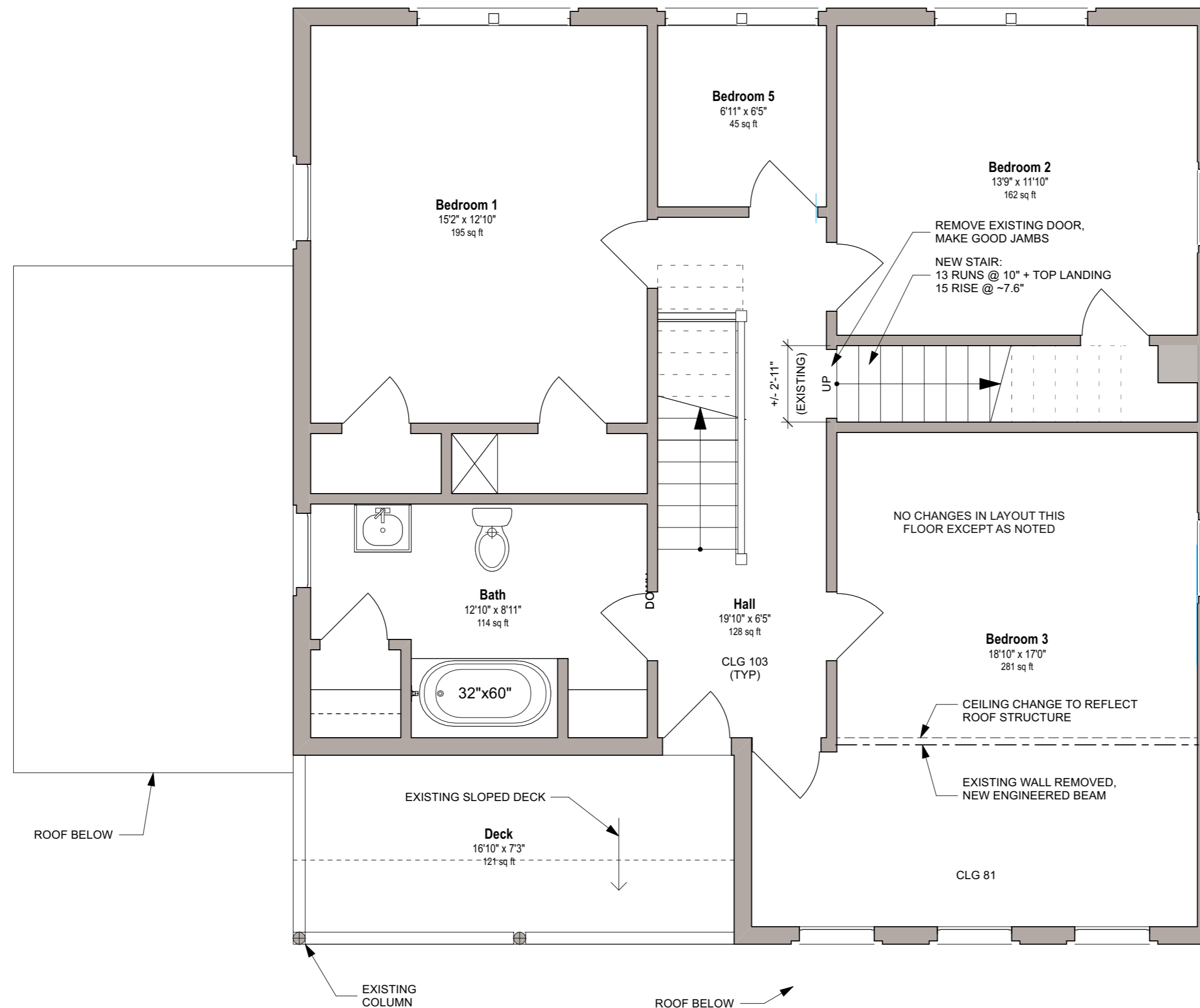
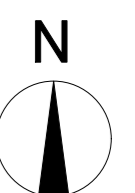
DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

**Second Floor Plan
PROPOSED**

Drawn By: ZA Checked By: ZM

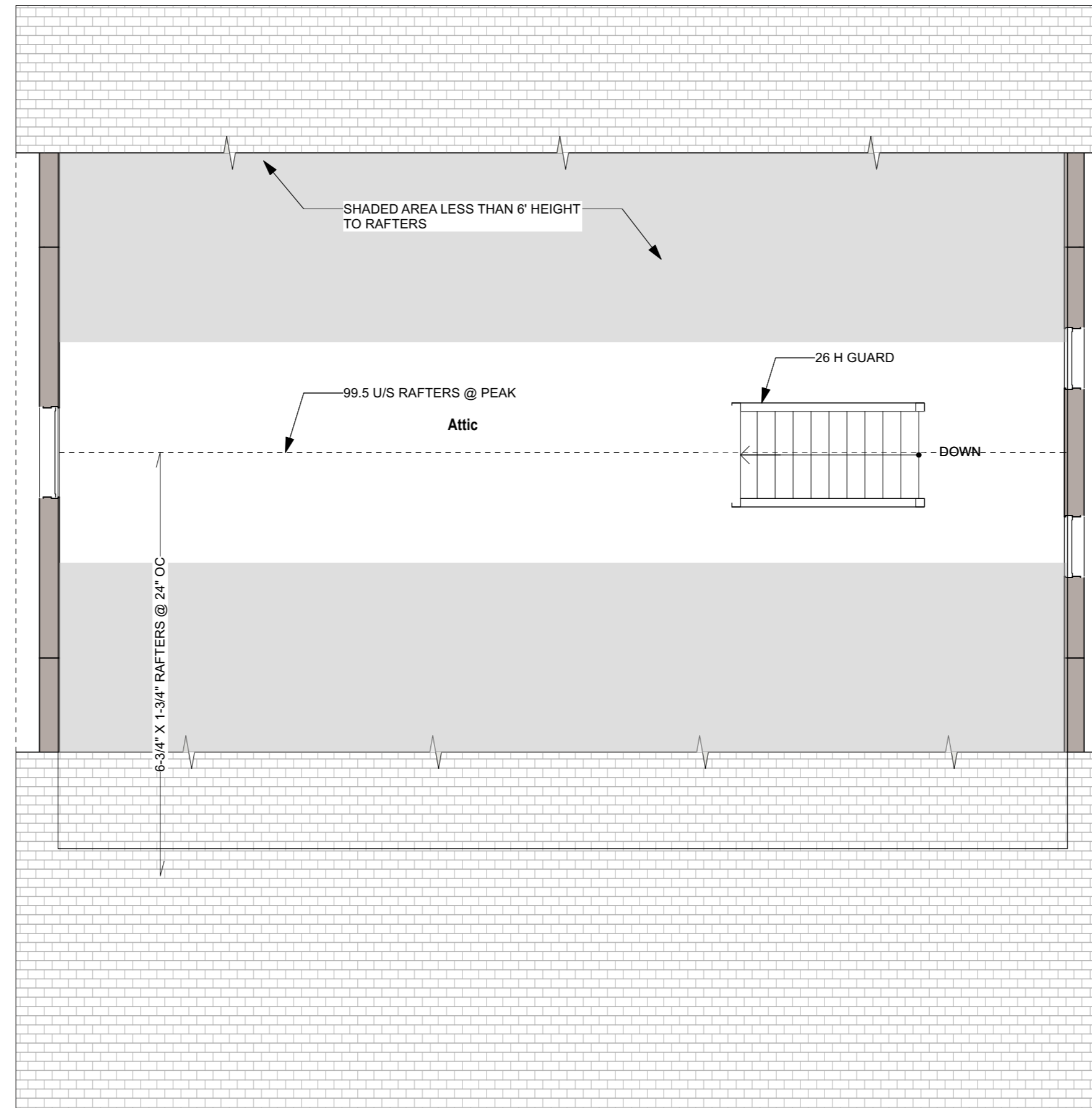
A108



1 SECOND FLOOR PLAN PROPOSED
SCALE: 1/4" = 1'-0"
GROSS LIVING AREA: 1,110 SQ.FT.

PLAN NOTES

1. All dimensions shown are to the face of finishes.
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11. Install smoke and CO detectors as required by Code.



1 ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"

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**Sally Sotnek
NEW GARAGE /
HOUSE RENOVATION**

162 Pelham Street
Lunenburg, Nova Scotia

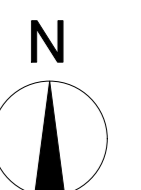
DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

**Attic Floor Plan
EXISTING**

Drawn By: ZA Checked By: ZM

A109

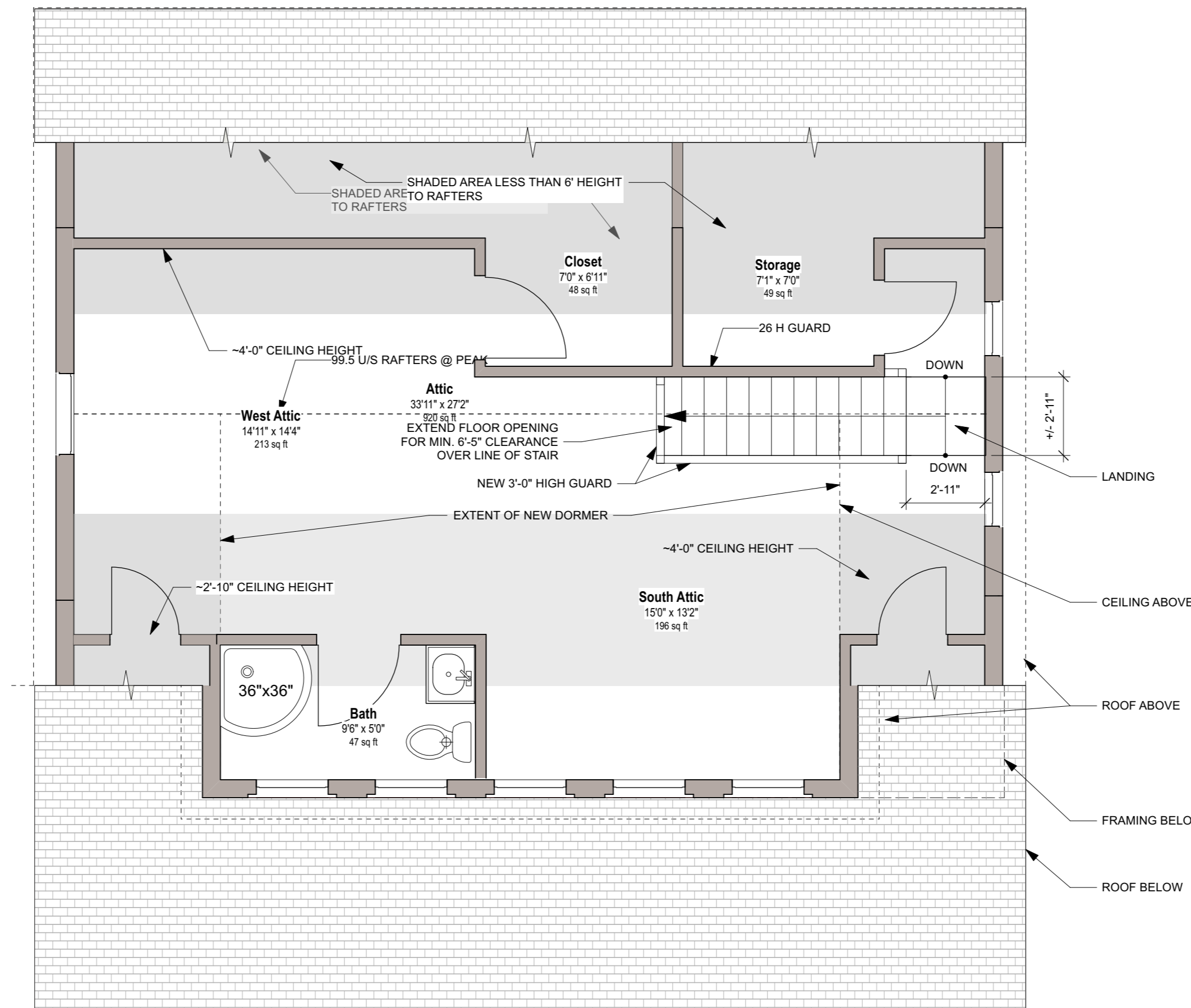


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1 ATTIC FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 GROSS LIVING AREA: ~650 SQ.FT.
 (FINISHED)

PLAN NOTES

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11. Install smoke and CO detectors as required by Code.

Sally Sotnek
NEW GARAGE /
HOUSE RENOVATION

162 Pelham Street
 Lunenburg, Nova Scotia

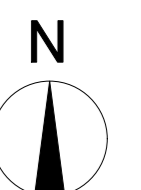
DESIGN DOCUMENTS
 ISSUED FOR PERMIT

Tuesday, December 2, 2025

Attic Floor Plan
PROPOSED

Drawn By: ZA Checked By: ZM

A110





1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



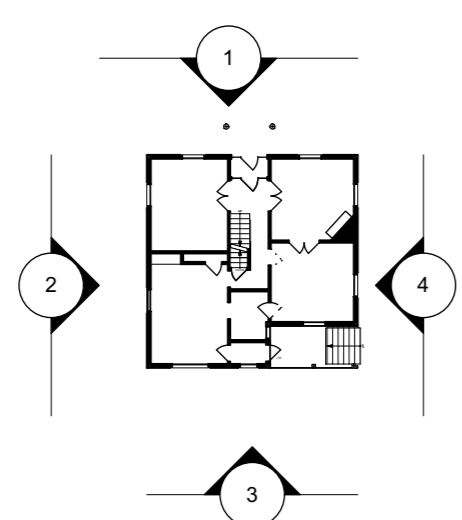
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 ELEVATION KEY PLAN
SCALE: 1/32" = 1'-0"

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Lunenburg, Nova Scotia

DESIGN DOCUMENTS
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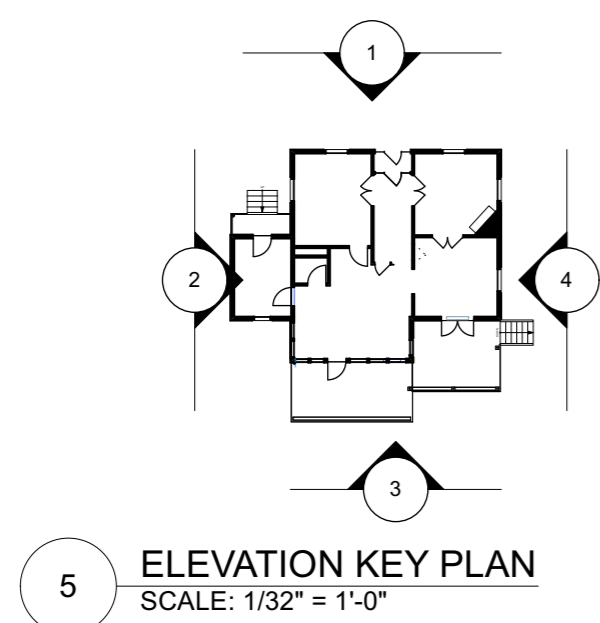
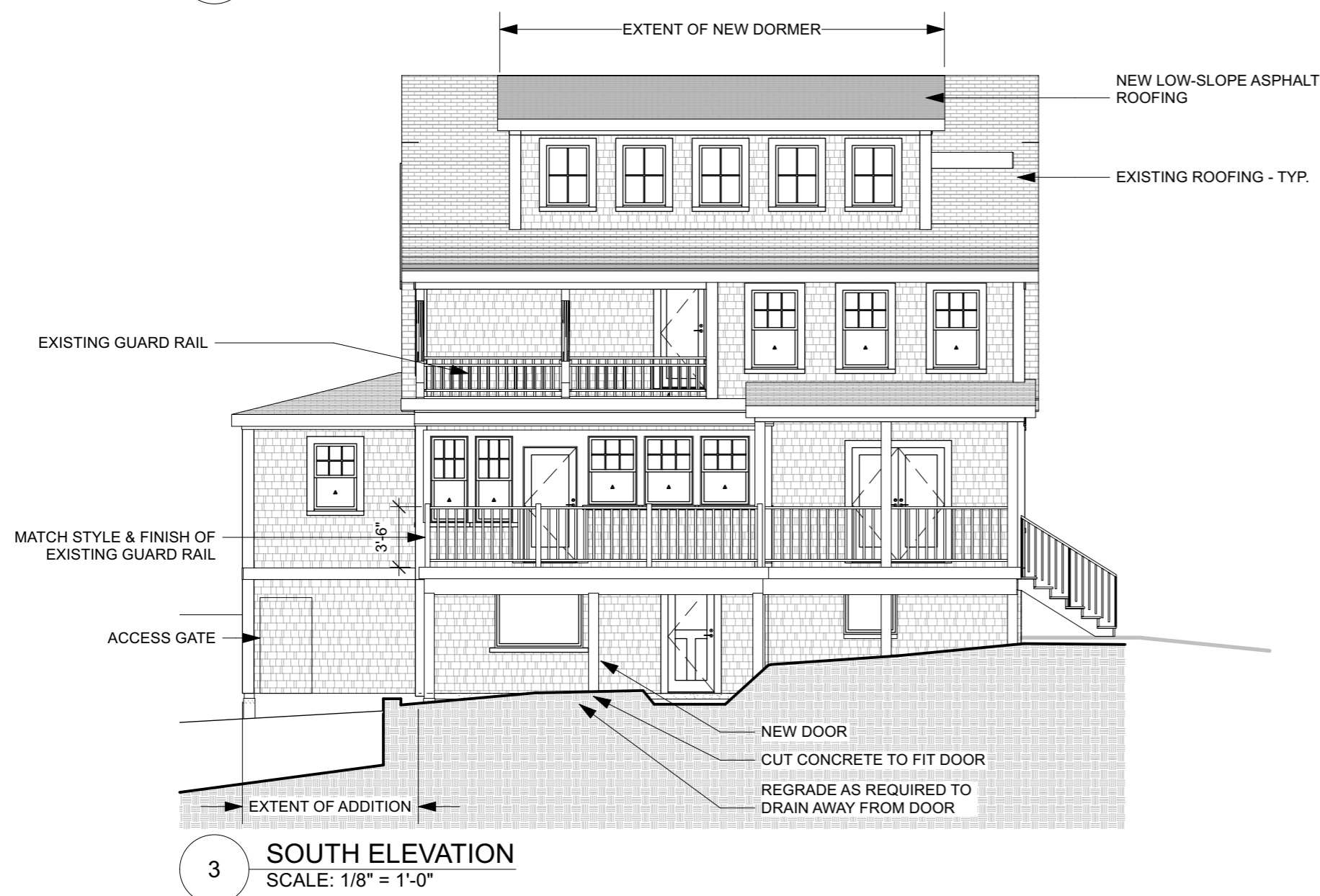
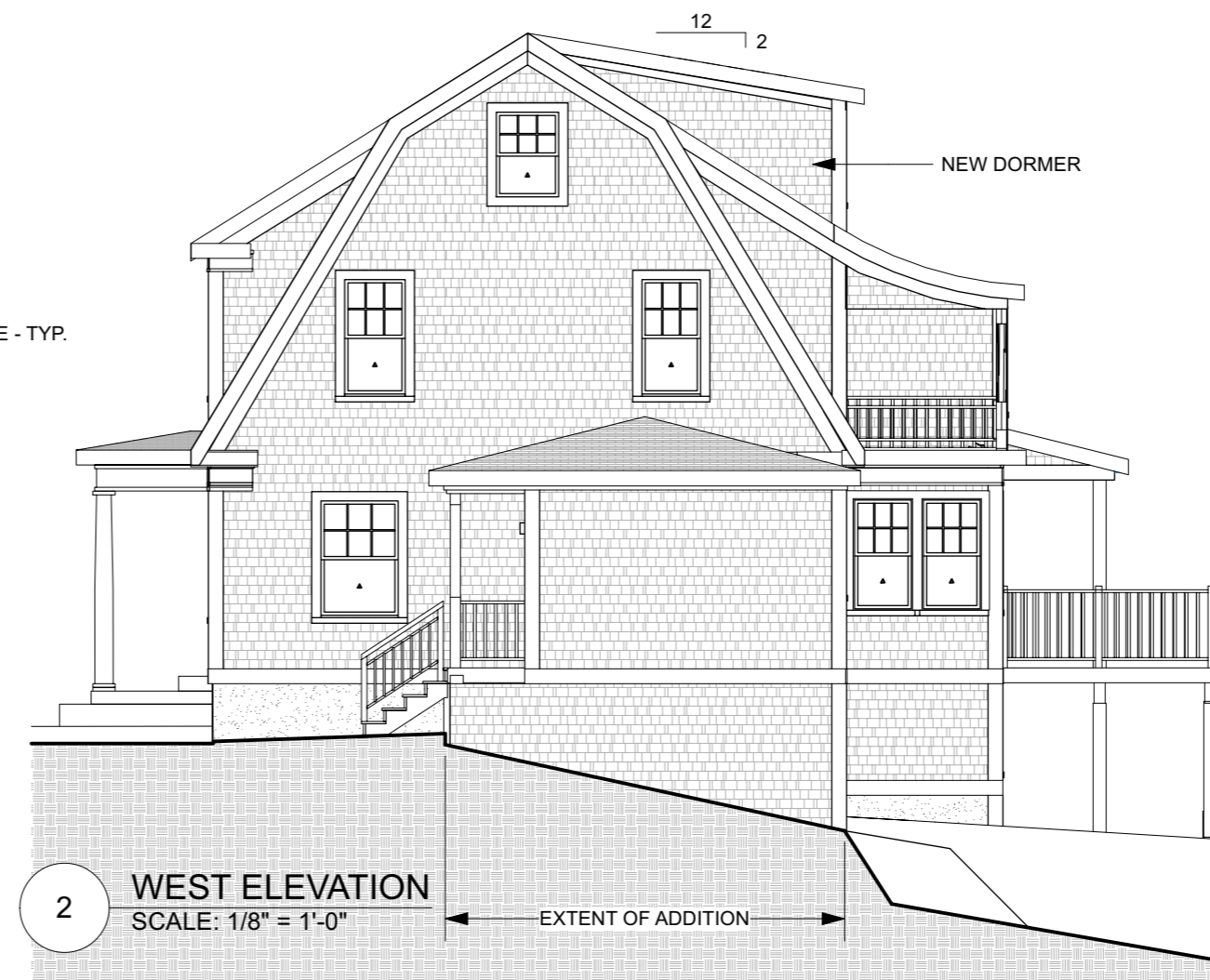
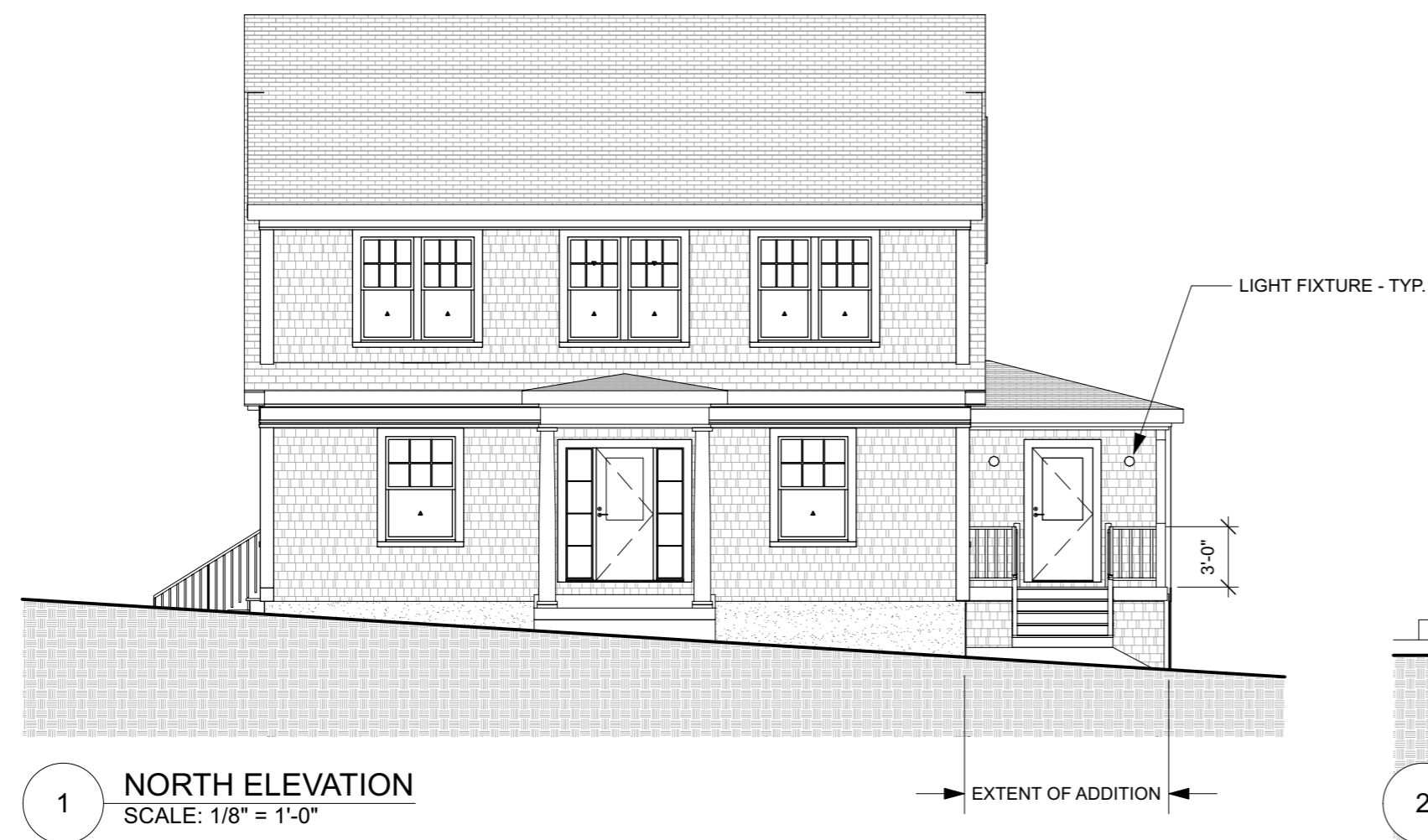
Elevations - EXISTING

Drawn By: ZA Checked By: ZM

A201

ELEVATION NOTES

1. All exterior trim, finishes, and colours to be confirmed by Owner.
2. Site grades shown are approximate and may differ from the actual final grades for this project.
3. Eavestroughs and downspouts not shown; install where required.
4. Roof vents & plumbing stacks not shown; vent area to be min 1:150 [300].
5. If possible, do not bring vent stack up through south-facing roof to facilitate solar panel installation.
6. Dryer vent, range hood vent, & bath exhaust vents not used; electric range only, and condensing type dryer only.
7. Colour all exterior vents & vent hoods to match siding, or stainless.
8. Wooden or eq. deck surface is to be minimum 3" below the adjacent inside floor level.
9. Solid patio surfaces are to be minimum 6" below the adjacent inside floor level.
10. See Window & Door Schedule for window & door head & sill heights, page A001
11. All bedrooms are to have windows that meet Code for egress requirements.
12. Screen doors not shown in elevation.



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**Sally Sotnek
NEW GARAGE /
HOUSE RENOVATION**

162 Pelham Street
Lunenburg, Nova Scotia

DESIGN DOCUMENTS
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Tuesday, December 2, 2025

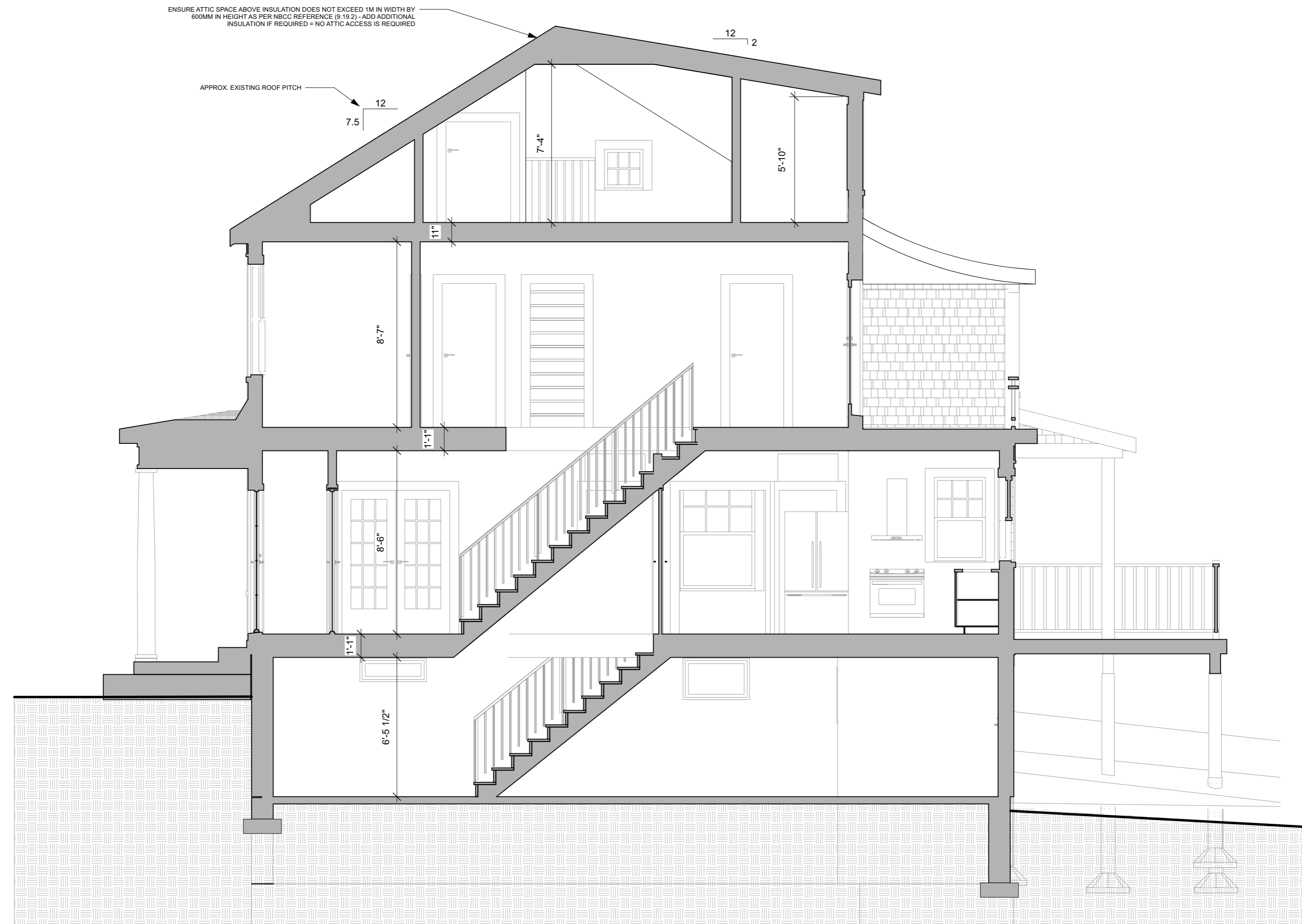
**Elevations -
PROPOSED**

Drawn By: ZA Checked By: ZM

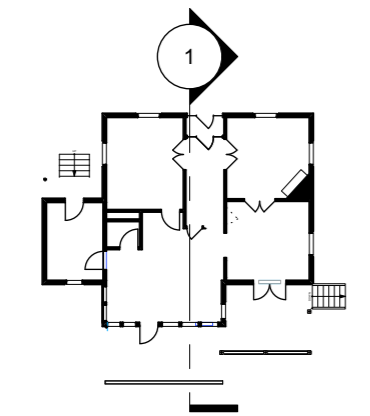
A202

ELEVATION NOTES

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4. Roof vents & plumbing stacks not shown; vent area to be min 1:150 (300).
5. If possible, do not bring vent stack up through south-facing roof to facilitate solar panel installation.
6. Dryer vent, range hood vent, & bath exhaust vents not used; electric range only, and condensing type dryer only.
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10. See Window & Door Schedule for window & door head & sill heights, page A001
11. All bedrooms are to have windows that meet Code for egress requirements.
12. Screen doors not shown in elevation.



1 TRANSVERSE SECTION THROUGH EXISTING BUILDING
SCALE: 1/4" = 1'-0"



2 SECTION KEY PLAN
SCALE: 1/32" = 1'-0"

SECTION NOTES

1. If shown, confirm vertical dimensions after pre-engineered floor truss sizes are established.
2. See Window & Door Schedule for window & door head & sill heights, page A001
3. Site grades shown are approximate and may differ from the actual final grades for this project.
4. Landscaping must ensure positive drainage of storm water from around the building. A minimum slope of 1/2":1' away from the dwelling is required for the first six feet. All other constructed grades are to be minimum 2% and maximum 3:1.
5. Wooden or eq. deck surface is to be minimum 3" below the adjacent inside floor level.
6. Solid patio surfaces are to be minimum 6" below the adjacent inside floor level.
7. Slope exterior patios and solid surface decks to drain 1/4" per 1'-0" for 10' around house.
8. Garage and porch slabs to be minimum 1/2" below the adjacent inside floor level.
9. Elevations subject to change as per local availability of pre-cut stud lengths.

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NEW GARAGE /
HOUSE RENOVATION**

162 Pelham Street
Lunenburg, Nova Scotia

DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

Sections - PROPOSED

Drawn By: ZA Checked By: ZM

A301

GENERAL NOTES

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NEW GARAGE /
HOUSE RENOVATION**

162 Pelham Street
Lunenburg, Nova Scotia

DESIGN DOCUMENTS
ISSUED FOR PERMIT

Tuesday, December 2, 2025

Sections - PROPOSED

Drawn By: ZA Checked By: ZM

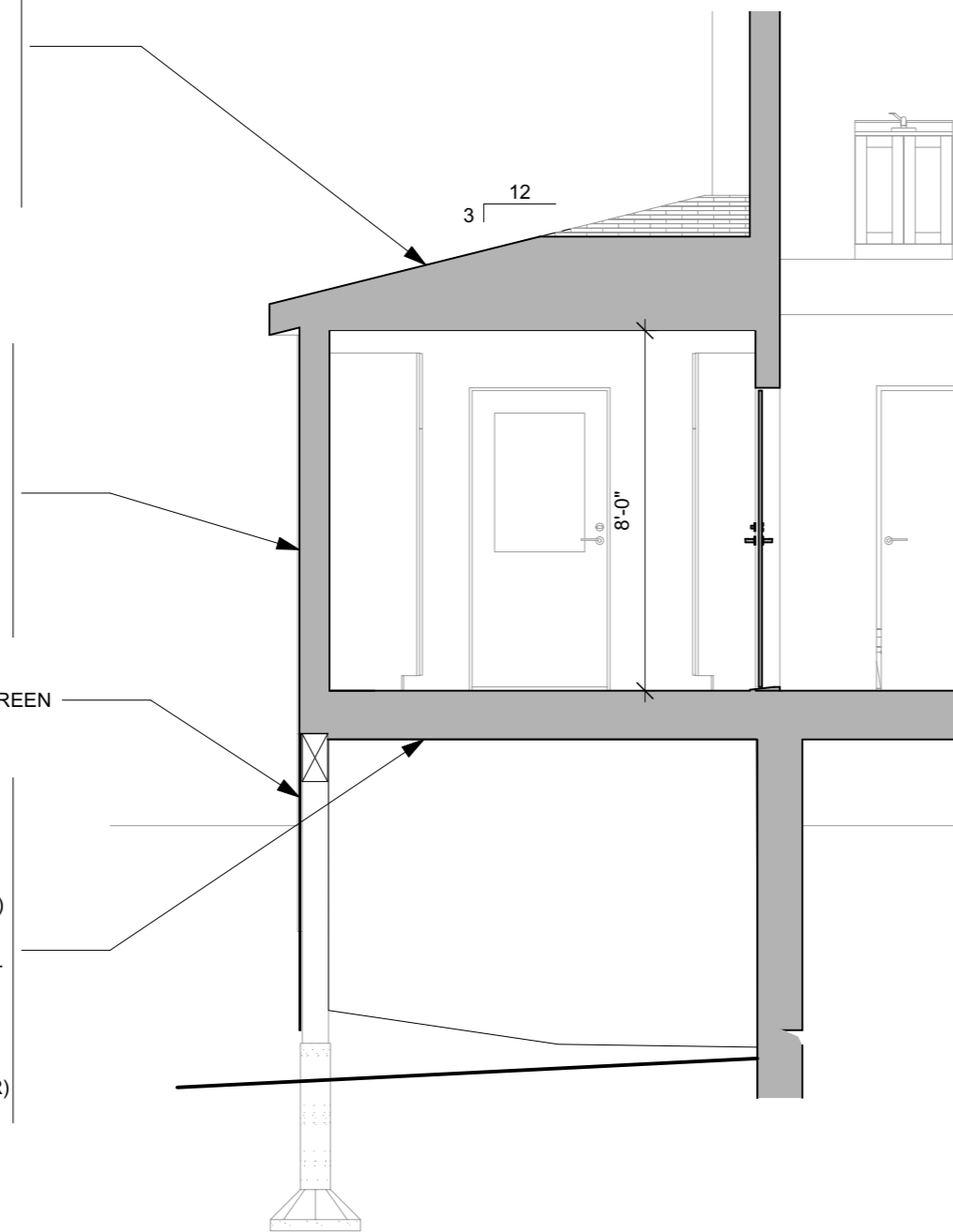
A302

MUDROOM ROOF ASSEMBLY:
ASPHALT ROOFING TO MATCH HOUSE W/ UNDERLAY
5/8 OSB TRG SHEATHING
2-1/2" AIR SPACE
ROOF TRUSSES W/ MAX DEPTH
BATT INSULATION
INTELLO PLUS MEMBRANE (AIR/VAPOUR BARRIER)
ALL SEAMS SEALED
2X4 STRAPPING 16" OC
CEILING FINISH TBD

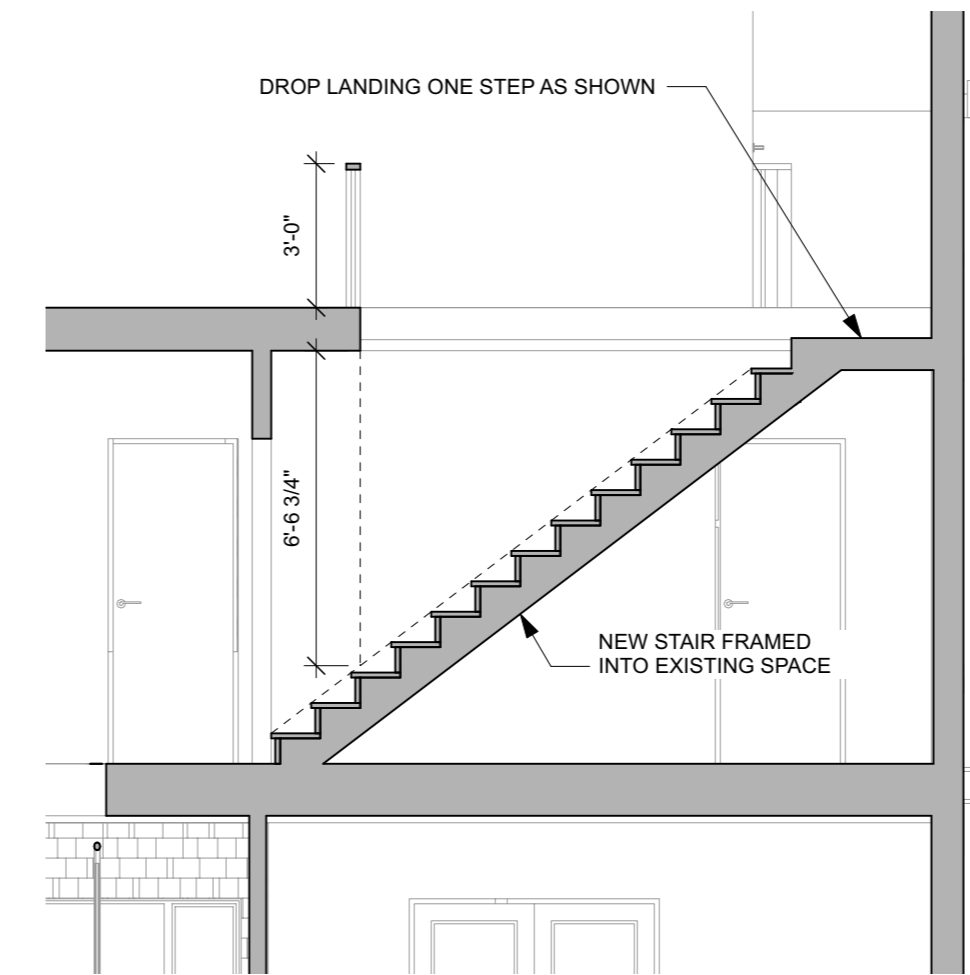
MUDROOM WALL ASSEMBLY:
SIDING TO MATCH HOUSE
RAINSCREEN - TYPE TBD
7/16" OSB SHEATHING
2X6 STUD WALL 24" OC W/ BATT INSULATION
INTELLO PLUS (AIR/VAPOUR BARRIER)
ALL SEAMS SEALED
2X4 HORIZONTAL STRAPPING W/ ROXUL BATT INSULATION
INTERIOR FINISH TBD

SHINGLE SCREEN

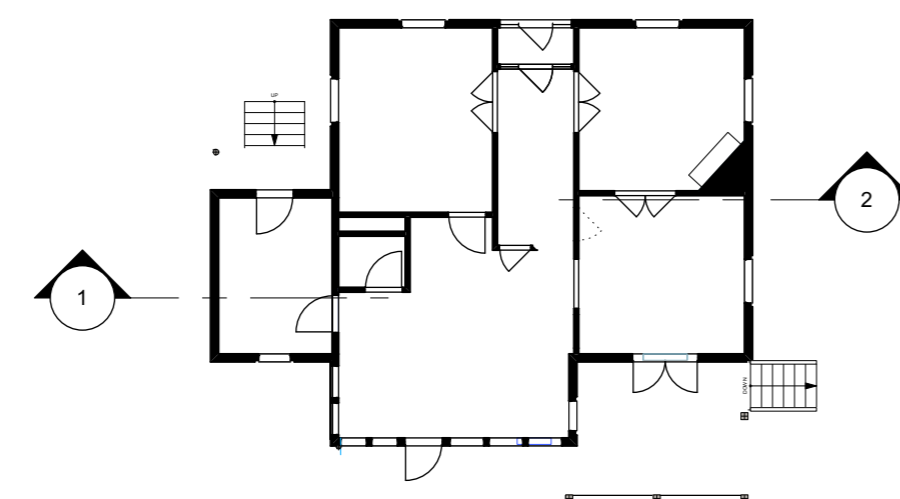
MUDROOM FLOOR ASSEMBLY:
FINISH FLOORING TYPE TBD
1/4" G1S PLYWOOD SUBFLOOR (IF TILES FLOOR FINISH)
6 MIL POLY (AIR / VAPOUR BARRIER) (ALL SEAMS SEALED)
3/4" PLYWOOD SUBFLOOR
2X10 JOISTS 16" OC W/ ROXUL BATT INSULATION
1-1/2" FOUNDTATION PLUS OR EQ. RIGID FOAM
3/4" STRAPPING
CEMENT BOARD (RODENT BARRIER)



1 MUDROOM ADDITION SECTION
SCALE: 1/4" = 1'-0"



2 ATTIC STAIR SECTION 2
SCALE: 1/4" = 1'-0"



5 SECTION KEY PLAN
SCALE: 1/16" = 1'-0"

SECTION NOTES

1. If shown, confirm vertical dimensions after pre-engineered floor truss sizes are established.
2. See Window & Door Schedule for window & door head & sill heights, page A001
3. Site grades shown are approximate and may differ from the actual final grades for this project.
4. Landscaping must ensure positive drainage of storm water from around the building. A minimum slope of 1/2":1' away from the dwelling is required for the first six feet. All other constructed grades are to be minimum 2% and maximum 3:1.
5. Wooden or eq. deck surface is to be minimum 3" below the adjacent inside floor level.
6. Solid patio surfaces are to be minimum 6" below the adjacent inside floor level.
7. Slope exterior patios and solid surface decks to drain 1/4" per 1'-0" for 10' around house.
8. Garage and porch slabs to be minimum 1/2" below the adjacent inside floor level.
9. Elevations subject to change as per local availability of pre-cut stud lengths.

Subject: Relocation of Outbuilding and New Residential Building, 202 York Street

Prepared by: Laura LeGresley, Heritage Officer

Date: January 21, 2026



Recommendations

Relocation of Shed

- That the Heritage Advisory Committee support the proposed relocation of the existing outbuilding at 202 York Street, as it aligns with the Heritage Conservation District Bylaw
- That the Heritage Advisory Committee not support the proposed relocation of the existing outbuilding at 202 York Street

Proposed Residential Building

- That the Heritage Advisory Committee support the proposed new residential building at 202 York Street, finding that the design is consistent with Section 2.3 of the Heritage Conservation District By-law, including its Four Square form, orientation, setback, façade design, materials, and architectural detailing, and further finding that the proposed 2½-storey height is acceptable and consistent with the intent of the By-law.
- That the Heritage Advisory Committee not support the proposed new residential building at 202 York Street, should the Committee determine that the proposed height and scale do not sufficiently align with Section 2.3.1(b) of the Heritage Conservation District By-law.

Background

The applicant is proposing to relocate an existing outbuilding currently situated on the lot at 202 York Street. The structure is to be lifted and moved rather than demolished. The property is located within the Heritage Conservation District. While the outbuilding is not identified on the Heritage Conservation District map as a character-defining or supporting building, it is being reviewed as a supporting structure for the purposes of applying the Heritage Conservation District By-law.

Section 3.3 of the Heritage Conservation District By-law states that applications to demolish or remove a supporting building may be approved without a public hearing, provided all other requirements of the By-law are adhered to.

The applicant is also proposing the construction of a new residential building on the property at 202 York Street following the relocation of an existing shed currently located on the lot.

The subject property is located within the Heritage Conservation District and is subject to the provisions of the Heritage Conservation District By-law, including Section 2, which governs new construction, and Section 2.3, which outlines design considerations for new residential buildings.

Under Policy 41 of the Town's Heritage Conservation District By-law, the Heritage Officer may refer any proposal requiring a Certificate of Appropriateness to the Heritage Advisory Committee for comment.

Discussion

Relocation of Shed

The proposed relocation may be considered consistent with the intent of Section 3.3 of the Heritage Conservation District By-law. In staff's opinion, the removal of the shed through relocation rather than demolition aligns with the By-law's flexible approach to supporting buildings and aligns with its provisions, provided that any new construction on the site is reviewed in accordance with the applicable design guidelines.

Proposed Residential Building

The proposed new residential building has been evaluated against Section 2.3 of the Heritage Conservation District By-law, which requires that the ten nearest residential character-defining structures within a 360-degree radius be considered in the design of new residential buildings, with particular attention given to adjacent properties and those on the same block.

The proposed building is a Four-Square form. The immediately adjacent building is also a Four Square, and two additional Four-Square houses are located on the same block. As such, the proposed form reflects an established and character-defining building type within the immediate streetscape.

In accordance with Section 2.3.1, the proposed building aligns with the historic gridiron plan through its orientation, front-yard setback, and relationship to neighbouring structures.

Section 2.3.1(b) states that the height and scale of new residential buildings shall be less than or equal to the average height and scale of character-defining residential structures on the same side of the street and block. Existing residential buildings on the block include a 1½-storey, a 2-storey, and a 2½-storey structure, resulting in an average height of approximately 2 storeys. The proposed building is 2½ storeys in height and therefore exceeds the calculated average.

It is staff's opinion that the proposed height is acceptable and consistent with the broader intent of the By-law. A 2½-storey residential building was permitted under the previous Heritage Conservation District Plan and By-law (2001), and this scale remains present within the district. Given the contextual compatibility of the proposed massing and its consistency with established residential forms, staff do not consider the proposed height to be incompatible with the surrounding heritage character.

The proposed façade design is consistent with Section 2.3.2 – 5 of the Heritage Conservation District By-law. The building incorporates a frontispiece, which is encouraged, and demonstrates strong vertical emphasis through cornerboards and vertically proportioned window openings. The façade is symmetrical, with panel-style doors and vertically oriented double-hung 2/2 windows.

Architectural detailing exceeds the minimum dimensional requirements of the By-law, including 12-inch-wide cornerboards (minimum 5.5 inches) and 6-inch-wide window trim (minimum 3.5 inches).

Decorative brackets and ornamental window hoods further align with the HCD Bylaw Design Guidelines.

The proposed materials, including wood shingle cladding, asphalt roof shingles, and wooden stairs are consistent with materials required under the Heritage Conservation District.

Overall, staff are of the opinion that the proposed new residential building is aligned with the intent and requirements of the Heritage Conservation District By-law. While the proposed height exceeds the

calculated average for the block, staff consider this variance to be acceptable given historical permissions under the previous By-law, the presence of 2½-storey buildings within the district, and the high degree of compatibility demonstrated in form, siting, materials, and architectural detailing.

Strategic Plan Relevance

Heritage: *Preserve the valuable heritage resources of Lunenburg while embracing an ongoing landscape evolution.*

Relevant Legislation

Old Town Lunenburg Heritage Conservation District Plan and Bylaw

Nova Scotia Heritage Property Act

Attachments

Appendix A – Application Package



TOWN OF LUNENBURG
HERITAGE, DEVELOPMENT PERMIT AND ENCROACHMENT LICENSE APPLICATION FORM

Date: January 14, 2026

Civic Address: 202 York Street

PID: 60725777 ZONE: _____ HCD ARCH CONTRL MuDesHER

Applicant Information:

Name: [REDACTED]

Mailing Address: [REDACTED]

Telephone: [REDACTED] Cell: same Fax: _____

Email: [REDACTED]

Property Owner Information: Same as applicant/owner

Name: _____

Mailing Address: _____

Telephone: _____ Cell: _____ Fax: _____

Email: _____

Proposed Use and Construction:

Current use:

- Single-unit dwelling Describe: _____
- Multiple occupancy Describe: _____
- Commercial Describe: _____
- Institutional Describe: _____
- Other Describe: vacant lot with single garage

Proposed use:

- No change
- Change to Vacant lot in preparation for new home construction

Proposed scope of project:

1. Lift garage off of existing pad and transport to 685 Feltzen South so lot can accommodate new dwelling

2. _____

Contractor Information: Same as applicant; or

Name: _____ Telephone: _____

Email: _____ Cell: _____

Documentation attached:

- Location Plan showing distances to lot lines
- Photograph of existing conditions
- Elevation drawings
- Other _____

Permits/Fees:

- Old Town Heritage Certificate of Appropriateness (free)
- Heritage Permit (free)
- Development Permit (free)
- Encroachment License (\$100.00 plus HST)
- Indemnification Agreement for a portable/sandwich board sign

Applicant Declaration:

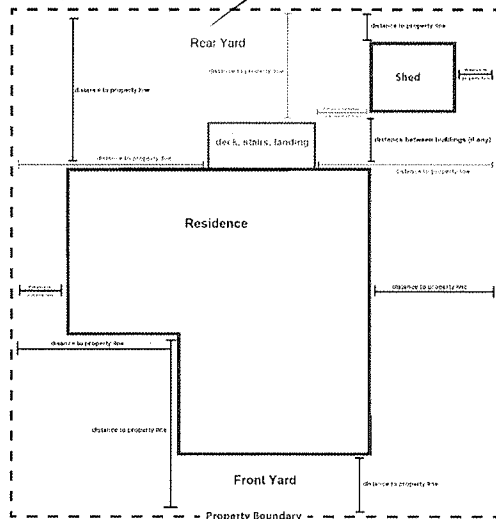
I solemnly declare:

1. That I am the authorized agent of the owner/the owner named in this application for a permit.
2. If the owner is a corporation or partnership, I have the authority to sign for the corporation or partnership.
3. That the plans and specifications submitted are prepared for the construction or alteration of the building or buildings described.
4. The information contained in this application, attached schedules, attached plans and specifications, and other attached documentation is true to the best of my knowledge and made with a full knowledge of the circumstances connected with the same.
5. It is clearly understood by the undersigned that this is only an application and does not authorize the applicant to proceed with any work until all required permits are issued.
6. It is clearly understood by the undersigned that the changes in the design must be submitted for approval prior to construction.

Signature of Authorized Applicant: _____

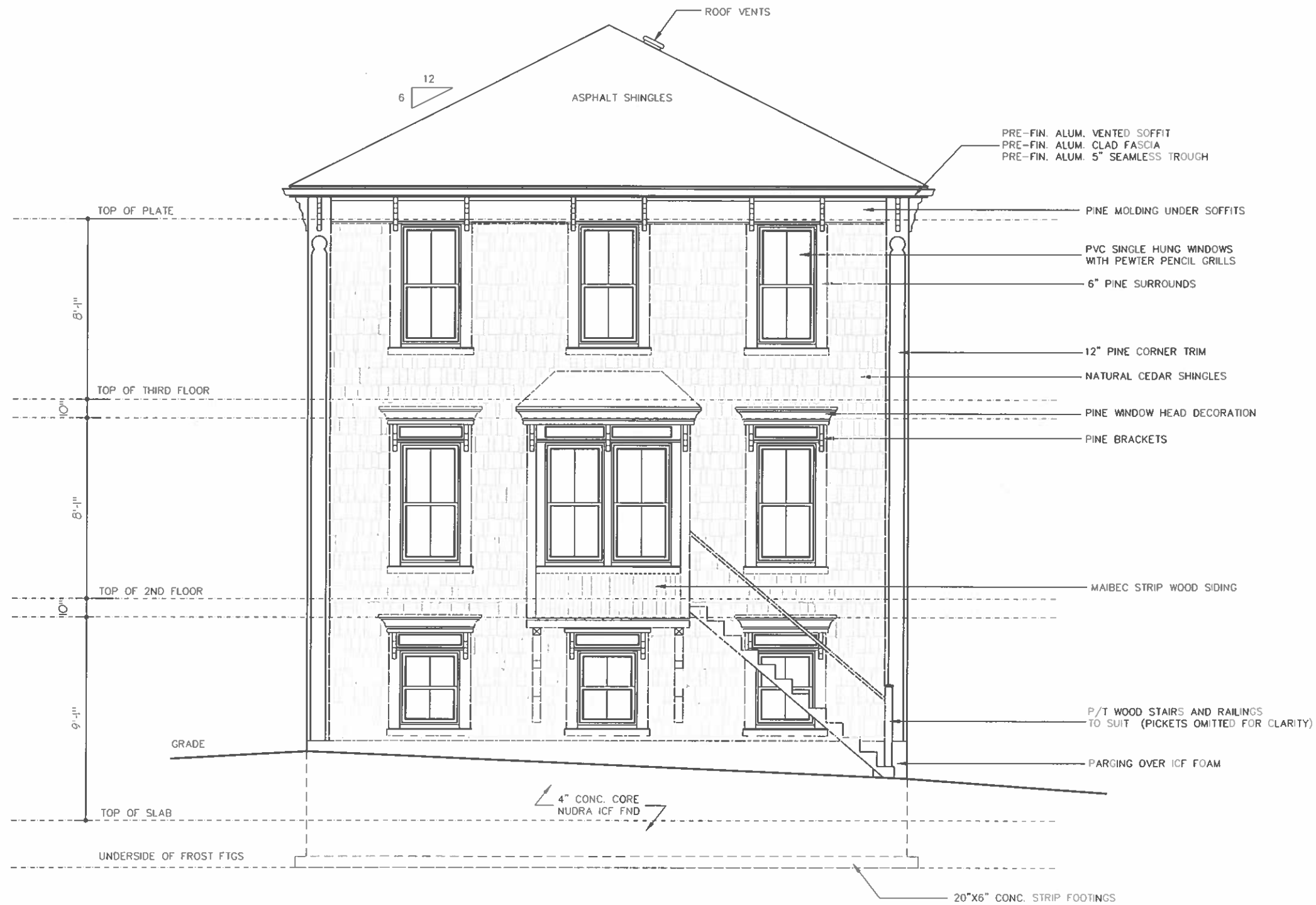
Date: 01/14/26

Sample Location Plan:



Office Use only:

Encroachment (GENC)



PROJECT:

1. CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
2. WORK TO THE DIMENSIONS SHOWN - DO NOT SCALE.
3. BUILDING TO CONFORM TO THE NATIONAL BUILDING CODE (LATEST EDITION) AND LOCAL BY-LAWS.

No.	DATE	REVISION

NOTE: PROVIDE TEMPORARY GUARDS @ STAIRS
 PROVIDE TEMPORARY RAMP TO FRONT DOOR
 PROVIDE TEMPORARY GUARD @ PATIO DOORS

NOTE: PROVIDE TEMPORARY GUARDS @ STAIRS
 PROVIDE TEMPORARY RAMP TO FRONT DOOR
 PROVIDE TEMPORARY GUARD @ PATIO DOORS

MODEL:

DRAWING: FRONT ELEVATION

LOCATION: 202 YORK STREET

JOB No:

DRN. BY: DGTB

DATE: SEPT/25

CADD FILE: FRONT.DWG

SCALE 3/16" = 1'-0"

PROJECT LOCATION: LUNenburg NOVA SCOTIA



PROJECT:

1. CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
2. WORK TO THE DIMENSIONS SHOWN. DO NOT SCALE.
3. BUILDING TO CONFORM TO THE NATIONAL BUILDING CODE (LATEST EDITION) AND LOCAL BY-LAWS.

No.	DATE	REVISION

NOTE: PROVIDE TEMPORARY GUARDS @ STAIRS
 PROVIDE TEMPORARY RAMP TO FRONT DOOR
 PROVIDE TEMPORARY GUARD @ PATIO DOORS

NOTE: PROVIDE TEMPORARY GUARDS @ STAIRS
 PROVIDE TEMPORARY RAMP TO FRONT DOOR
 PROVIDE TEMPORARY GUARD @ PATIO DOORS

MODEL:

DRAWING: SIDE ELEVATION

LOCATION: 202 YORK STREET

JOB No:

DRN. BY: DGTB DATE: SEPT/25

CADD FILE: SIDE.DWG

SCALE 3/16" = 1'-0"

PROJECT LOCATION: LUNenburg, NOVA SCOTIA

EXPOSED BUILDING FACE 789 SQ.FT.
GLAZED AREA 34.99 SQ.FT.



PROJECT:

1. CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
2. WORK TO THE DIMENSIONS SHOWN - DO NOT SCALE.
3. BUILDING TO CONFORM TO THE NATIONAL BUILDING CODE (LATEST EDITION) AND LOCAL BY-LAWS.

No.	DATE	REVISION

NOTE: PROVIDE TEMPORARY GUARDS @ STAIRS
PROVIDE TEMPORARY RAMP TO FRONT DOOR
PROVIDE TEMPORARY GUARD @ PATIO DOORS

NOTE: PROVIDE TEMPORARY GUARDS @ STAIRS
PROVIDE TEMPORARY RAMP TO FRONT DOOR
PROVIDE TEMPORARY GUARD @ PATIO DOORS

MODEL:

DRAWING: SIDE ELEVATION

LOCATION: 202 YORK STREET

JOB No:

DRN. BY: DGTB

DATE: SEPT/25

CADD FILE: SIDE1.DWG

SCALE 3/16"=1'-0"

PROJECT LOCATION: LUNenburg NOVA SCOTIA

A3



PROJECT:

1. CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
2. WORK TO THE DIMENSIONS SHOWN - DO NOT SCALE.
3. BUILDING TO CONFORM TO THE NATIONAL BUILDING CODE (LATEST EDITION) AND LOCAL BY-LAWS.

No.	DATE	REVISION

NOTE: PROVIDE TEMPORARY GUARDS @ STAIRS
 PROVIDE TEMPORARY RAMP TO FRONT DOOR
 PROVIDE TEMPORARY GUARD @ PATIO DOORS

NOTE: PROVIDE TEMPORARY GUARDS @ STAIRS
 PROVIDE TEMPORARY RAMP TO FRONT DOOR
 PROVIDE TEMPORARY GUARD @ PATIO DOORS

MODEL:

DRAWING: REAR ELEVATION

LOCATION: 202 YORK STREET

JOB No:

DRN. BY: DGIB

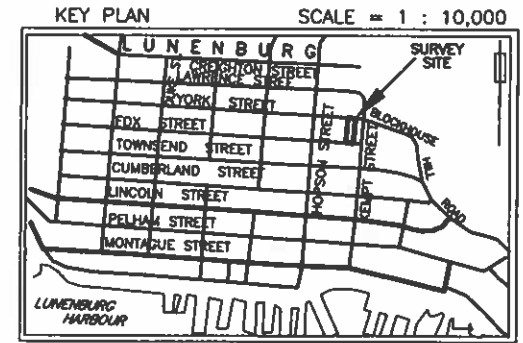
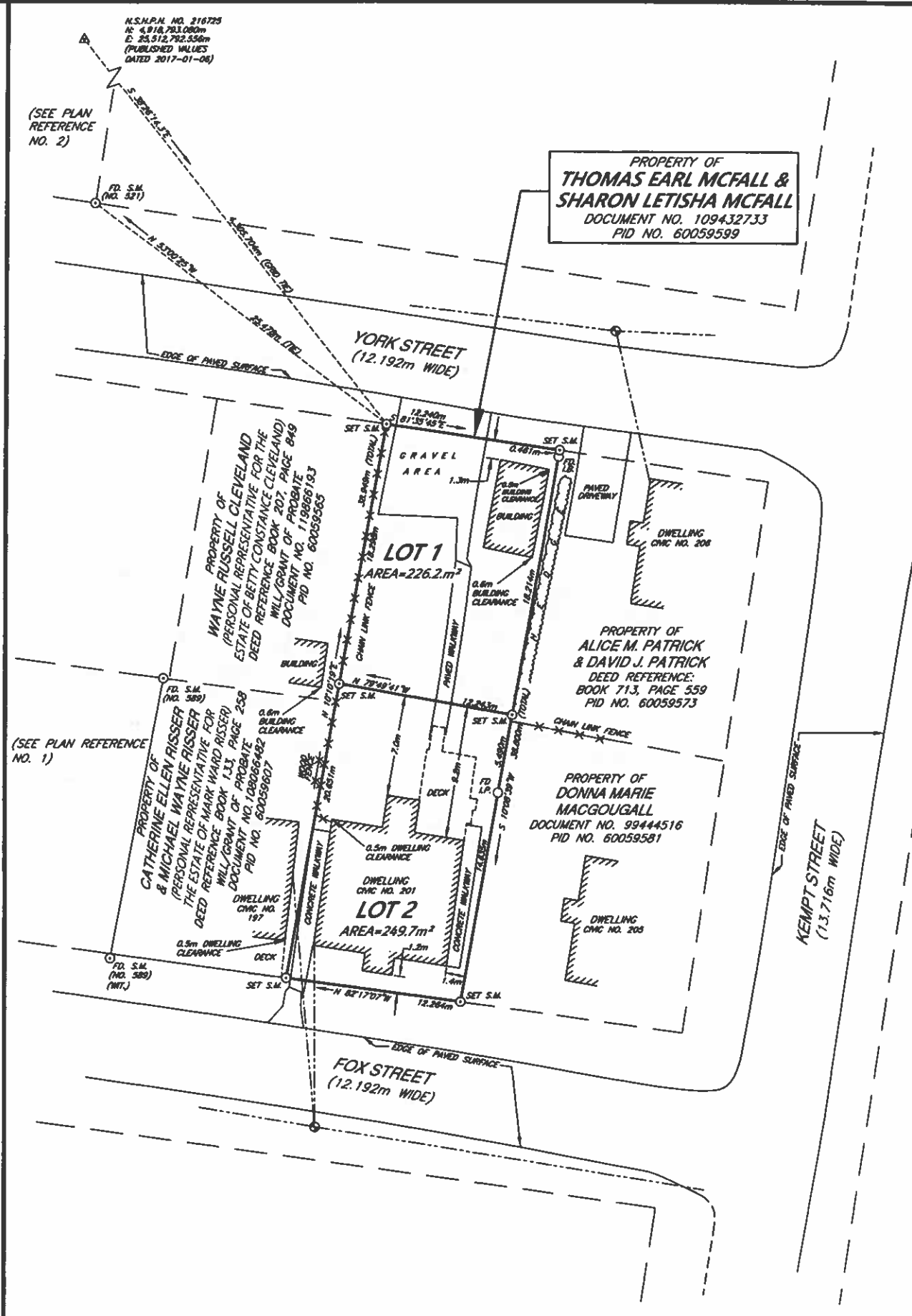
DATE: SEPT/25

CADD FILE: REAR.DWG

SCALE 3/16" = 1'-0"

PROJECT LOCATION: LUNenburg NOVA SCOTIA

STAMPING AREA



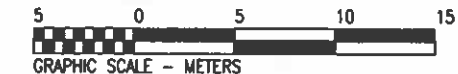
- LEGEND**
- △ N.S.H.P.N. NOVA SCOTIA HIGH PRECISION NETWORK
 - S.M. SURVEY MARKER
 - I.B./I.P. IRON BOLT/IRON PIPE
 - × × × WIRE FENCE
 - ▬▬▬▬ STONE WALL
 - FD. FOUND
 - (WIT.) WITNESS
 - C.P. CALCULATED POINT
 - ⊙ UTILITY POLE
 - ▬ LANDS DEALT WITH
 - ▬ OTHER LANDS
 - ▬▬▬▬ OVERHEAD UTILITY LINES
 - (NO. 474) ARTHUR C. BACKMAN, N.S.L.S.
 - (NO. 521) ROBERT C. BECKER, N.S.L.S.
 - (NO. 589) WAYNE S. MAILMAN, N.S.L.S.

BEARINGS ARE OF THE NOVA SCOTIA GRID SYSTEM, 3°M.T.M., ZONE 5, C.M.64°30'W AND WERE DERIVED FROM G.N.S.S. OBSERVATIONS TAKEN ON NOVA SCOTIA ACTIVE CONTROL STATION NO. 216725. THE HORIZONTAL REFERENCE FRAME USED HEREON IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (CSRS), EPOCH 2010.0 (G.N.S.S. OBSERVATIONS)

- PLAN REFERENCES:**
- 1) PLAN OF SURVEY NO. L-11 BY WAYNE S. MAILMAN, N.S.L.S. NO. 589, SHOWING PROPERTY OF KEVIN E. LOHNES & SANDRA J. LOHNES, 193 FOX STREET, LUNENBURG, LUNENBURG COUNTY, NOVA SCOTIA, DATED JUNE 17, 1994.
 - 2) PLAN OF SURVEY NO. 970717P BY R.C. BECKER SURVEYING LTD. SHOWING PROPERTY OF JOHN P. HUGHES 11 & JOANNE E. HUGHES, CIVIC NO. 188 LAWRENCE STREET, TOWN OF LUNENBURG, LUNENBURG COUNTY, NOVA SCOTIA, DATED AUGUST 5, 1997 AND FILED AT THE REGISTRY OF DEEDS UNDER NO. 10,657.

- NOTES:**
- 1) VALUES SHOWN; NOT ADJUSTED. DISTANCES SHOWN; HORIZONTAL GROUND DISTANCES.
 - 2) LOT IDENTIFIERS 1 AND 2 ORIGINATE WITH THIS PLAN.
 - 3) LOTS 1 AND 2 SERVICED BY CENTRAL SEWER AND WATER.
 - 4) SUBDIVISION APPROVAL REQUESTED FOR LOTS 1 AND 2.

PLAN OF SUBDIVISION
 SHOWING LOT 1 AND LOT 2, PROPERTY OF THOMAS EARL MCFALL & SHARON LETISHA MCFALL, CIVIC NO. 201 FOX STREET, TOWN OF LUNENBURG, LUNENBURG COUNTY, NOVA SCOTIA.

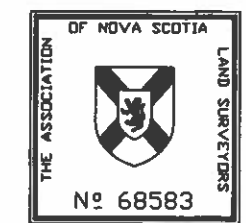


SCALE : 1:250m

FIELD SURVEY CARRIED OUT DURING THE PERIOD OF: JUNE 10 - JULY 4, 2022

DATE OF PLAN : JULY 7, 2022

Surveyors Certificate
 I, Peter A. A. Berrigan, Nova Scotia Land Surveyor, hereby certify that the survey represented by this plan was conducted under my supervision and that the survey and plan, were made in accordance with the Land Surveyors Act, Regulations and Standards made thereunder.
 Dated this 7th day of JULY, 2022
 Peter A. A. Berrigan, N.S.L.S. #629



BERRIGAN SURVEYS LIMITED
 NOVA SCOTIA LAND SURVEYORS
 BRIDGEWATER, LUN. CO., NOVA SCOTIA

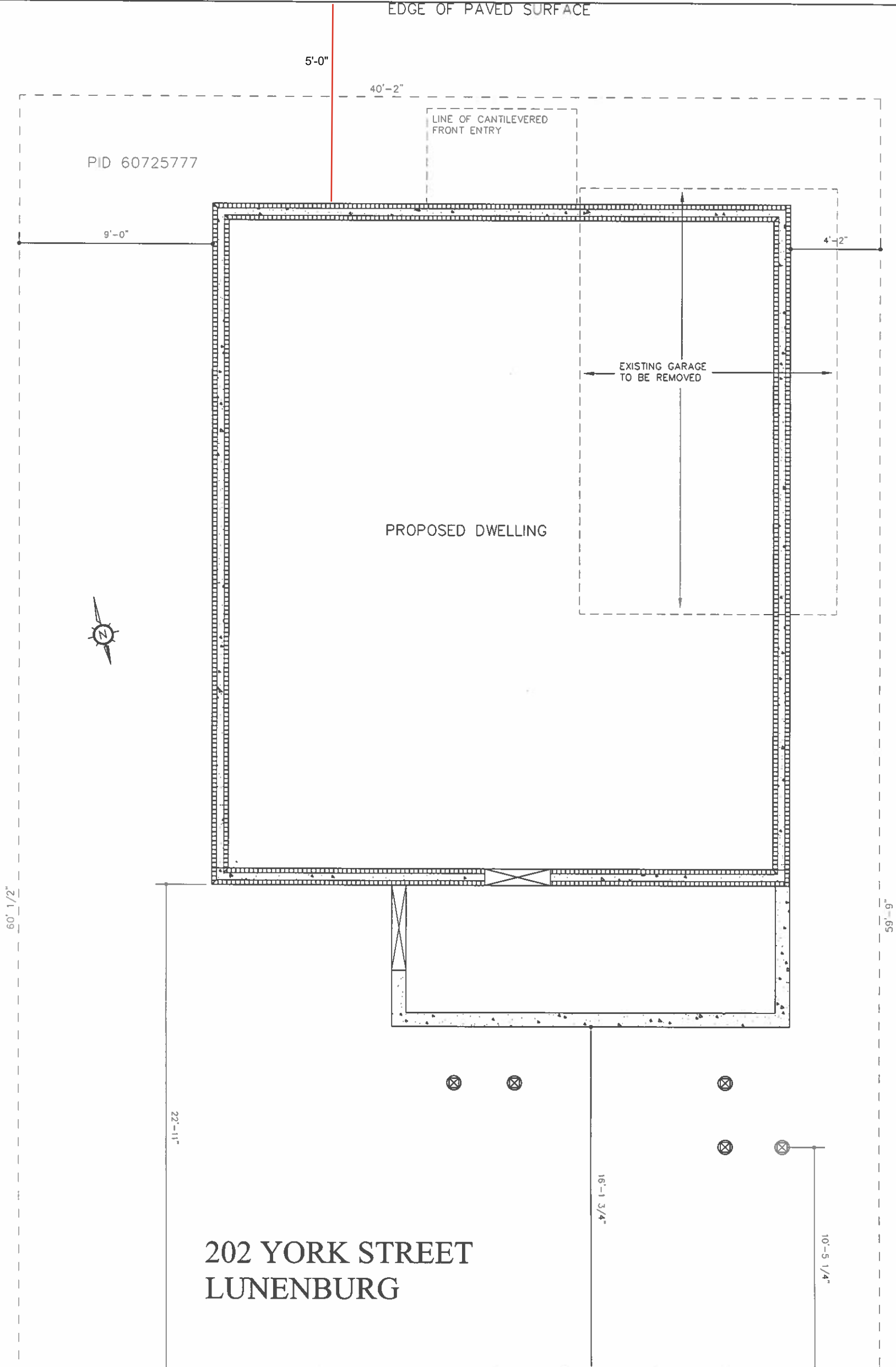


PLAN NO. 22,280

HORIZONTAL DATUM:	NAD83 (CSRS)	EPOCH:	2010.0
VERTICAL DATUM:	CANADIAN GEODETIC VERTICAL DATUM 2013 (CGVD2013)		
PROJECTION:	3° MTM	ZONE:	5
GNSS SURVEY TYPE:	NRTK	SOURCE:	SMARTNET
COMBINED SCALE FACTOR AT SITE 0.99990034			

YORK STREET

EDGE OF PAVED SURFACE



PID 60725777

LINE OF CANTILEVERED FRONT ENTRY

EXISTING GARAGE TO BE REMOVED

PROPOSED DWELLING



202 YORK STREET
LUNENBURG

60'-1/2"

59'-9"

22'-11"

16'-1 3/4"

10'-5 1/4"

9'-0"

40'-2"

4'-2"

5'-0"